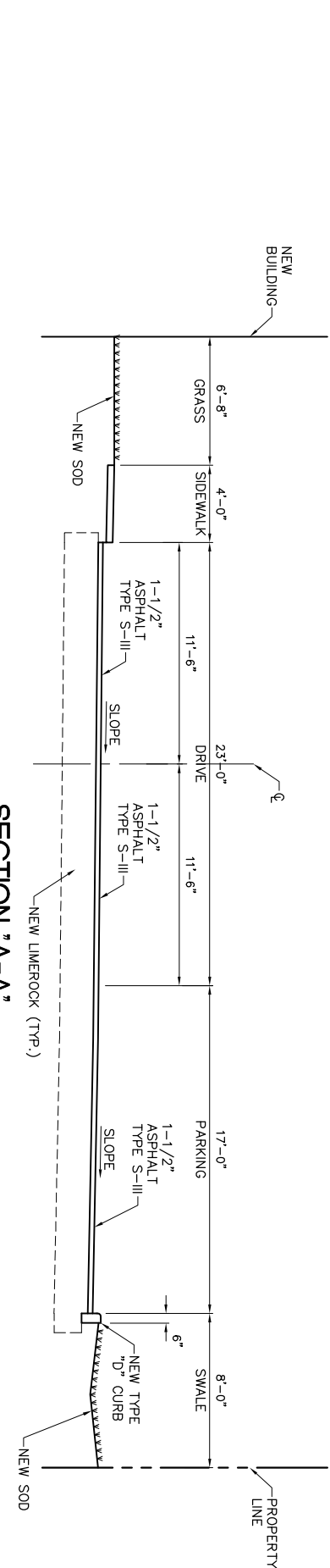


GENERAL NOTES:

1. EXISTING TOPOGRAPHIC AND TREE LOCATION INFORMATION HAS BEEN OBTAINED FROM THE SKETCH OF TOPOGRAPHIC SURVEY PERFORMED BY GIBBS LAND SURVEYORS, DATED 08/10/2010.
2. ELEVATIONS SHOWN ON THE DRAWINGS ARE IN FEET BASED ON NATIONAL GEODETIC VERTICAL DATUM 1929 (N.G.V.D.).
3. ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE SOODED.
4. IN ACCORDANCE WITH THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA): "THE IDENTIFIED LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP (FIRM) IDENTIFIED AS COMMUNITY-PANEL NO. 12011C0312F" BEARING AND EFFECTIVE DATE AUGUST 18, 1992.
5. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COOPERATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATION, ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS MUST BE RESOLVED BY THE ARCHITECT/ENGINEER AND THE OWNER. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
6. 48 HOURS PRIOR TO DIGGING CONTRACTOR SHALL COORDINATE WITH ALL UNDERGROUND UTILITY SERVICE COMPANIES TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES. ADDITIONALLY, CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. (1-800-432-4770) TO ASSURE THAT ALL UTILITIES HAVE BEEN IDENTIFIED.
7. ANY EXISTING BUILDING, PAVEMENT OR OTHER EXISTING IMPROVEMENTS NOT SPECIFIED FOR REMOVAL, WHICH IS TEMPORARILY DAMAGED, EXPOSED OR IN ANY WAY DISTURBED BY CONSTRUCTION PERFORMED UNDER THIS CONTRACT, SHALL BE REPAIRED, PATCHED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE SAFETY PRECAUTIONS DURING EXCAVATION AND TRENCHING OPERATIONS AS REQUIRED BY THE "TRENCH SAFETY ACT".
9. THE CONTRACTOR SHALL VERIFY THE INVERT ELEVATIONS OF THE EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION OF NEW SEWER, AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

- FOR CONTINUATION OF WATER SUPPLY SYSTEM AND SEWER SYSTEM FROM APPROXIMATELY 5 FEET OUTSIDE THE BUILDING SEE PLUMBING DRAWINGS. ALL DRAINAGE CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF SOUTH FLORIDA WATER MANAGEMENT AND BROWARD COUNTY. CONTRACTOR IS TO PREVENT INTRODUCTION OF DEBRIS OR DIRT INTO NEW STORM DRAINAGE SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES. ALL LINES AND STRUCTURES SHALL BE CLEANED PRIOR TO FINAL INSPECTION AND ACCEPTANCE. FOR RELOCATION AND REMOVAL OF EXISTING LIGHT POLES, ELECTRICAL BOXES AND OTHER ELECTRICAL OR COMMUNICATIONS IMPROVEMENTS, SEE ELECTRICAL DRAWINGS AND DIMENSIONS IN PAVED AREAS ARE TO THE EDGE OF THE ASPHALT OR CONCRETE PAVEMENT.
- ALL UNSUITABLE MATERIAL UNDER THE NEW PAVEMENT SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS BEFORE PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL COMPACT AND INSTALL ALL DRAINAGE PIPES AND STRUCTURES, IRRIGATION LINES, AND ELECTRICAL LINES AND/OR CONDUITS PRIOR TO BEGINNING SUBGRADE CONSTRUCTION.
- ALL PARKING LOT GRADES REFER TO FINISH ASPHALT ELEVATIONS. CONTRACTOR SHALL ADJUST ALL EXISTING VALVES, BOXES, CATCH BASINS GRATES, MANHOLE COVERS, ETC. TO MEET NEW GRADES WHERE APPLICABLE.
- PROVIDE A SMOOTH TRANSITION WHERE NEW PAVEMENT, SIDEWALK, OR CURB MEETS EXISTING GRASS AREAS.
- WHERE NEW PAVEMENT MEETS EXISTING CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT. SAW CUT AT EXISTING PAVEMENT JOINT MATCHING TO NEW PAVEMENT.
- EXCEPT AS PARTICULARLY NOTED ON THE PLANS, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOLLYWOOD, FLORIDA, BUILDING CODE, AND THE SOUTH FLORIDA BUILDING CODE. IF ANY ITEM OF WORK IS NOT COVERED IN EITHER OF THE SPECIFICATIONS, IT SHALL BE CONSTRUCTED PER THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- FOR SPECIFICATIONS REGARDING WATER AND SANITARY SEWER OF THIS PROJECT, PLEASE REFER TO CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT STANDARD DETAILS FOR WATER DISTRIBUTION AND SEWAGE COLLECTION.
- ALL SEWER SYSTEM CONSTRUCTION (PRIVATE & PUBLIC) SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD WATER DISTRIBUTION AND SEWAGE COLLECTION DEPARTMENT.

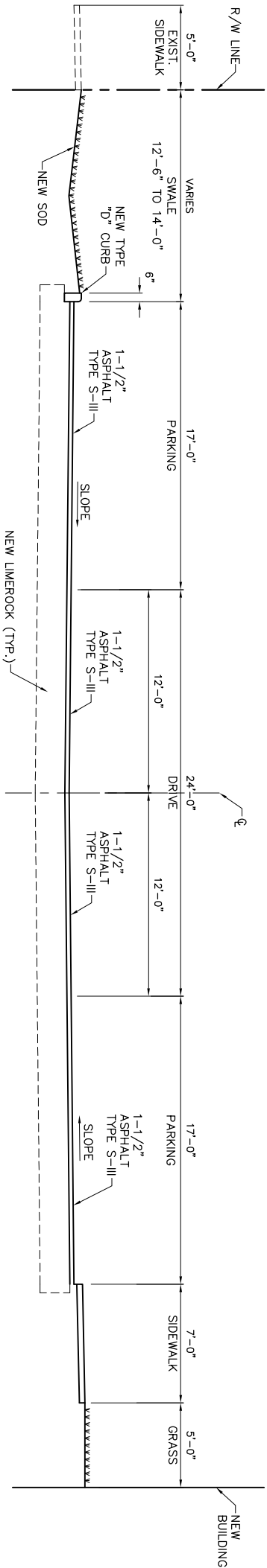
- FOR TO RENEWAL AND/OR RELOCATION OF EXISTING TREES, IF REQUIRED, THE CONTRACTOR MUST OBTAIN APPROVAL FROM DEEM.
- CONTRACTOR SHALL HAVE A SET OF PLANS WITH CURRENT FIELD CHANGES MARKED THERE-ON AND SHALL DELIVER THESE PLANS TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONFLICTS BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED.
- ALL EXCAVATION SHALL BE BACKFILLED. THEREFORE ORIGINAL GRADE SHALL BE RESTORED UPON COMPLETION OF COMPACTION, SODDING OR SEEDING AND MULCHING/BACKFILLING PAVEMENT CUTS AND EXCAVATION WITHIN 2 FEET OF PAVEMENT EDGE SHALL MEET THE FOLLOWING ADDITIONAL REQUIREMENTS:
- (a) COMPLETED SODDING SHALL BE AT LEAST 1.5 INCHES DEEP.
- (b) DENSITY TESTS SHALL BE CONDUCTED EVERY 12 OF UNCOMPACTED DEPTH OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE ALL WARNING LIGHTS, SIGNALS, SIGNS AND THE PERSONS AS REQUIRED BY THE MAJIN-DODGE COUNTY DEPARTMENT OF PUBLIC WORKS.
- THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS AND OTHER IMPROVEMENTS, WHICH ARE DAMAGED BY THE USE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION AS DIRECTED BY THE ENGINEER.
- PAVEMENT REPAIRS SHALL BE "TYPE 1" UNLESS OTHERWISE NOTED. CONCRETE CURBS AND OTHERS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH MAJIN-DODGE COUNTY PUBLIC WORKS MANUAL, PART 1 (STANDARD DETAIL: R14.1), WHERE IT IS NECESSARY TO DEFLECT PIPE EITHER HORIZONTALLY OR VERTICALLY, PIPE JOINT OPENING SHALL NOT EXCEED 50% OF THE MANUFACTURER'S RECOMMENDED OPENING.
- ALL PUBLIC LAND CORNERS, BENCH MARKS, MONUMENTS AND REFERENCED POINTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED BY THE CONTRACTOR AS FOLLOWS: CORNERS, BENCH MARKS, MONUMENTS AND REFERENCED POINTS IN CONFLICT WITH THE WORK AND IN DANGER OF BEING DAMAGED, DESTROYED OR REMOVED SHALL BE CONTOURED, REVEALED AND RE-REFERENCED TO THE ENGINEER IN ACCORDANCE TO THE SURVEYING STANDARDS OF THE MAJIN-DODGE COUNTY DEPARTMENT OF PROFESSIONAL LAND SURVEYORS PRIOR TO BEGINNING WORK AT THAT SITE. THE CONTRACTOR SHALL RETAIN THE LAND SURVEYOR TO REFERENCE, AND RESTORE UPON COMPLETION OF THE WORK, ALL SUCH CORNERS AND MONUMENTS AND SHALL FURNISH TO THE ENGINEER A SIGNED AND SEALED COPY OF THE LAND SURVEYOR'S REFERENCE DRAWING.



SECTION "A-A"

- ## SECTION NOTES:
1. IN UNPAVED AREA WHERE NEW ASPHALT OR CONCRETE IS PROPOSED, THE CONTRACTOR SHALL EXCAVATE AT LEAST 20" AND 12" OF STABILIZED SUBBASE COMPACTED TO A DENSITY OF NOT LESS THAN 95% MAX. DRY DENSITY (ASHSTO T-180) LBR 40. TWO LIFTS OF 6" AND PLACE 8" LIME/CEMENT COMPACTED TO 98% MAX. DRY DENSITY (ASHSTO T-180) LBR 100. TWO LIFTS OF 4".
 2. LIME/CEMENT BASE (8" THICK) SHALL BE EXTENDED 6" BEYOND THE EDGE OF PAVEMENT AND THE SUBGRADE SHALL BE EXTENDED 6" BEYOND THE LIME/CEMENT BASE.
 3. UPON PAVING, THE CONTRACTOR SHALL FLOOD THE AREA WITH WATER, ALL PUDDLE AREAS SHALL BE HEATED, FILLED WITH ASPHALT, AND ROLLED. SUCH THAT THERE IS NO STANDING WATER IN THE NEW PAVEMENT AREAS.
 4. THE CONTRACTOR SHALL REPAIR/PATCH DAMAGES EXISTING ASPHALT PAVEMENT AND SIDEWALKS TO RESTORE PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST OF THE CITY OF HOLLYWOOD.

SECTION NOTES:



SECTION "B-B"

revision	type	date	by

TO THE BEST OF THE ARCHITECT OR ENGINEERS KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AT THE TIME OF THEIR PREPARATION AS DETERMINED BY THE LOCAL AUTHORITIES IN ACCORDANCE WITH SECTION 105 (F.B.C.) FLORIDA BUILDING CODE AND 633 FLORIDA STATUTES.

NOTE: AUTHENTIC COPIES OF THIS DOCUMENT SHALL BEAR THE SIGNATURE IN ORIGINAL AND THE RAISED SEAL OF THE ATTESTING ARCHITECT OR ENGINEER OF RECORD.

ALL DESIGNS AND DETAILS INDICATED BY AND REPRESENTED BY THIS DRAWING ARE FOR USE ON AND IN CONJUNCTION WITH THE SPECIFIED PROJECT. ALL DRAWINGS CONTAINED HEREIN ARE NOT TO BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE ADVANCED WRITTEN PERMISSION AND CONSENT FROM THE FIRM. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

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FEA

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LIBERIA ECONOMIC &
SOCIAL DEVELOPMENT, INC.
CITY OF HOLLYWOOD, FL

A DESIGN-BUILD PROJECT
CITY OF HOLLYWOOD CHDO PROJECT 10-
FINAL SITE PLAN REVIEW
**WILEY STREET
REDEVELOPMENT**
BETWEEN S. 56 AVE & S. 57 AVE..
HOLLYWOOD, FLORIDA

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M.F.	O.S.	
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sheet title:
GENERAL NOTES
AND TYPICAL
CROSS SECTIONS

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sheet number:
C—
consecutive
of 8 sheet

