


**CITY OF HOLLYWOOD, FLORIDA
INTER-OFFICE MEMORANDUM
PLANNING AND DEVELOPMENT SERVICES**

DATE: October 6, 2011 **FILE:** 10-V-01a

TO: Planning and Development Board/ Local Planning Agency

VIA: Andria Wingett, Planning Manager 

VIA: Julie Walls Krolak, Principal Planner 

FROM: Mariluz Maldonado, Planning and Development Services Administrator 

SUBJECT: Hollywood Commons, LLC c/o Millbrook Properties Ltd. Requests an amendment to previously approved sign Variance for an existing Chase Bank at 6975 Taft Street. (Taft Hollywood Shopping Center)

APPLICANT'S REQUEST

Variance: Amendment to previously granted Variance to exceed the 3 approved wall signs (107 sq ft total combined) to allow a total of 5 wall signs (179 sq ft total combined).

STAFF'S RECOMMENDATION

Variance: Approval, with the condition the proposed 5 wall signs do not exceed 107 sq ft total combined and the south sign along Taft Street shall remain the primary sign.

Background:

In September 2010 the Board considered an application for Site Plan, Design and Variances for a Chase Bank at 6975 Taft Street. (See Attachment B for Resolution) A component of the request included sign Variances. Zoning and Land Development Regulations (ZLDR) allow one wall sign per street frontage with a total size equal to one square foot per linear foot of the building wall. Consistent with this allotment, the applicant would have been permitted to have one wall sign approximately 107 square feet along Taft Street. However, the application at the time requested approvals beyond the ZDLR and the following table better describes the applicant's request and Board approvals granted at that time.

<u>Applicant's Request</u>	<u>Actions</u>
Variances: a) 3 wall signs with a total of 147 sq ft	Approved, with the condition the 3 wall signs do not exceed 107 sq ft and the south sign along Taft Street shall remain the primary sign.
b) Monument sign	Denied.

The basis for staff recommendation was to allow the applicant to distribute the square footage of the three (3) signs around the building elevations, but not to exceed the 107 sq ft sign area permitted by right.

Request:

Today, the applicant is requesting to modify the previously approved wall sign Variance to increase the number of signs from three to five and increase the square footage from 107 sq ft to 179 sq ft to allow additional Chase identification. Again, the following table better describes today's petition and staff's recommendation.

<u>Today's Request</u>	<u>Staff's Recommendation</u>
5 wall signs with a total of 179 sq ft	Approval, with the condition the 5 wall signs do not exceed 107 sq ft and the south sign along Taft Street shall remain the primary sign.

As a result, the proposed signage not only exceeds the number allowed but also the maximum square footage. Consistent with previous approvals, staff is recommending to allow the applicant to distribute the square footage of the requested five wall signs around building elevations as long as it doesn't exceed 107 sq ft total. Staff understands the importance of identifying businesses, but it is also in staff's purview to ensure signage is both provided in an *attractive manner* as well as *intended to provide locational information rather than advertisement*, as encouraged by the Design Guidelines.

The applicant indicated the requested signage is usually found on other Chase buildings. Staff visited other financial institutions in the city which have similar layouts to this request or are within a shopping center. While many of the banks have a monument sign, none of them had additional signage. Furthermore, it was also found some of these buildings were located either in a double fronted parcel or had a greater setback from the main street. As a result, there are no special conditions associated with the location of this financial institution which would require exceeding the maximum square footage. In addition, meeting code requirements does not present a hardship for the business. Therefore, staff recommends approval of the request for five wall signs, with the condition the proposed five wall signs do not exceed 107 sq ft total combined and the south sign along Taft Street shall remain the primary sign. This is to ensure proposed signage is solely to appropriately identify the business rather than to advertise.

SITE INFORMATION

Owner/Applicant:	Hollywood Commons, LLC c/o Millbrook Properties Ltd.
Address/Location:	6975 Taft Street
Net Size of Property:	37,170 Sq Ft (out parcel)
Future Land Use:	General Business
Zoning:	Medium Intensity Commercial (C-3)
Existing Use of Land:	Commercial Shopping Center

ADJACENT FUTURE LAND USE

North: General Business
South: Office
East: General Business
West: General Business

ADJACENT ZONING

North: Medium Intensity Commercial (C-3)
South: Light Intensity Office (O-1)
East: Medium Intensity Commercial (C-3)
West: Medium Intensity Commercial (C-3)

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The subject property is located within Sub-Area 8, West Hollywood, which is defined by Davie Road Extension and 72nd Avenue to the west, Stirling Road to the north, Florida's Turnpike to the east and Hollywood Boulevard to the south. This area includes the residential neighborhoods of Boulevard Heights and Driftwood and is adjacent to the Seminole Indian Reservation.

Guiding Principle: *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*

Recommendations for Sub-Area 8 encourage commercial and business redevelopment along Taft Street with special attention being given to underutilized and obsolete plazas. The existing financial institution is consistent with the recommendations as it adds to a dated plaza and creating another resource within the neighborhood. However, the request for additional and larger signage would be compatible if they comply with the maximum of 107 sq ft total. Staff understands the importance of identifying business but also it is in staff's purview to ensure signage is both provided in an *attractive manner* as well as *intended to provide locational information rather than advertisement*, as encouraged by the Design Guidelines.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The subject property has a General Business Land Use. The goal of the Land Use Element is to "promote a distribution of land uses to enhance and improve the residential, business, resort and natural communities while allowing land owners to maximize the use of their property."

Land Use Element:

Objective 4: *Maintain and enhance neighborhoods, business, utilities, industrial and tourist areas that are not blighted.*

The existing financial institution brings a new resource to the surrounding neighborhoods and creates a use compatible with the existing shopping center. By establishing an out parcel for this commercial use, the owner had the opportunity to maximize the use of his land while increasing the potential for new/increased patronage to the shopping plaza and surrounding businesses. Again, the request for additional and larger signage would be compatible if they comply with the maximum of 107 sq ft total. Staff understands the importance of identifying business but also it is in staff's purview to ensure signage is both provided in an *attractive manner* as well as *intended to provide locational information rather than advertisement*, as encouraged by the Design Guidelines.

VARIANCE

Variance: Amendment to previously granted Variance to exceed the 3 approved wall signs (107 sq ft total combined) to allow a total of 5 wall signs (179 sq ft total combined).

No sign Variance to the provisions of Article 8 "Sign Regulations" shall be granted by the Development Review Board unless the Board finds that the petitioner has shown that all of the following criteria have been met:

CRITERIA 1: The variance is not contrary to the public interest.

ANALYSIS: The proposed 5 wall signs with a total of 179 sq ft would be exceeding the maximum allowed square footage of building frontage (107 sq ft) by 72 sq ft. The applicant indicates the reason for this request is, "In order to create

wall signage that is visible from adjacent right of way, it is necessary to make signage larger than the code allows". The applicant previously received approvals to construct 3 wall signs on the south, east and west elevations that do not exceed 107 sq ft combined.

Instead the applicant is moving forward with the request for additional and larger signage. Staff understands the importance of identifying business but also it is in staff's purview to ensure signage is both provided in an *attractive manner* as well as *intended to provide locational information rather than advertisement*, as encouraged by the Design Guidelines. Since the applicant is exceeding the number of signs and the overall total square footage for this development, staff recommends **approval, with the condition the proposed 5 wall signs do not exceed 107 sq ft total combined and the south sign along Taft Street shall remain the primary sign.**

FINDING: Consistent, with the imposition of staff's condition.

CRITERIA 2: **The variance is required due to special conditions.**

ANALYSIS: Zoning and Land Development Regulations allow one wall sign per street frontage with a total size equal to one square foot per linear foot of the face of the wall the sign will be located on. Consistent with this allotment, the applicant would be permitted to have one wall sign approximately 107 square feet only along Taft Street; instead the applicant is proposing 5 signs while exceeding the allowed square footage of 107.

As previously mentioned, the applicant indicated the requested signage is a standard usually found on all other Chase buildings. Staff visited other financial institutions in the city which have similar layouts to this request or are within a shopping center. While many of the banks have a monument sign, none of them had additional signage other than those allowed by code. Furthermore, it was also found some of these buildings were located either in a double fronted parcel or had a greater a setback from the main street. As a result, there are no special conditions associated with the location of this financial institution which would require exceeding the maximum square footage. In addition, meeting code requirements does not prove a hardship for the business.

A primary wall sign along Taft Street should alert plaza customers and people around the area of the new business. This is consistent with the Design Guidelines which state, *the City of Hollywood has determined that signs are intended to provide locational information rather than advertisement*. Since the applicant is exceeding the number of signs and the overall total square footage for this development, staff recommends **approval, with the condition the proposed 5 wall signs do not exceed 107 sq ft total combined and the south sign along Taft Street shall remain the primary sign.**

FINDING: Consistent, with the imposition of staff's condition.

CRITERIA 3: **A literal enforcement of the provisions of Article 8 may result in unnecessary hardship.**

ANALYSIS: The applicant provides, "Given the size of the building, its distance from the right of way and the impact of logo and brand recognition, the requested Variances are needed". As previously mentioned, there are currently no special conditions associated with the location of the financial institution which require the exceeding the number and maximum square footage. Furthermore, meeting code requirements does not prove a hardship for the business. Maintaining a primary sign centered over the building entrance should suffice and provide adequate notice of the general service offered. Additionally, the remaining elevations can be utilized to accommodate any additional signage on the east and west elevations without having to exceed the maximum allowed square footage. Since the applicant is exceeding the number of signs and the overall total square footage for this development, ***staff recommends approval, with the condition the proposed 5 wall signs do not exceed 107 sq ft total combined and the south sign along Taft Street shall remain the primary sign.***

FINDING: Consistent, with the imposition of staff's condition.

STAFF'S RECOMMENDATION

Variance: Approval, with the condition the proposed 5 wall signs do not exceed 107 sq ft total combined and the south sign along Taft Street shall remain the primary sign.

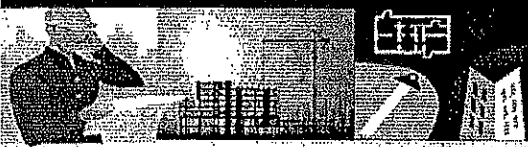
ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Previously Approved Board Resolution
ATTACHMENT C: Land Use and Zoning District Map

ATTACHMENT A

Application package

OFFICE OF PLANNING



File No. (to be filled by the Office of Planning): _____

2600 Hollywood Boulevard Room 315

Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

http://www.hollywoodfl.org/comm_planning/appforms.htm



APPLICATION TYPE (CHECK ONE):

- ☐ Development Review Board ☐ Historic Preservation Board
☐ Planning and Zoning Board ☐ Technical Advisory Committee
☐ City Commission

Date of Application: _____

Location Address: 6975 Taft Street (See legal description attached)

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): see the attached legal description

Zoning Classification: C-3 Land Use Classification: _____

Existing Property Use: Shopping Center Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File

Number(s) and Resolution(s): Resolution # 10-DPV-01

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☒ Development Review Board
☐ Planning and Zoning Board ☐ Historic Preservation Board ☐ City Commission

Explanation of Request: (1) a variance from code section 8.5.B.4 to allow additional signs on the west and east elevations; (2) a variance from code section 8.5.B.4 to increase to maximum allowable wall sign square footage on the south elevation; (3) a variance from code section 8.5.B.4. to allow for the installation of the nationally registered and trademarked blue Chase octagon logo on the west and east elevations.

Number of units/rooms: _____ N/A _____ Sq Ft: 4,200

Value of Improvement: _____ Estimated Date of Completion: 3/11

Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Hollywood Commons, LLC c/o Milbrook Properties, LTD

Address of Property Owner: 42 Bayview Avenue, Manhasset, NY 11030

Telephone: 516-869-1240 Fax: 516-869-8576 Email Address: chirsch@milbrookproperties.com

Name of Consultant/Representative/Tenant (circle one): Hope W. Calhoun, Esq.

Address: 200 East Broward Boulevard, Suite 1500, Fort Lauderdale, Florida 33301

Telephone: (954) 761-2913 Fax: (954) 333-4113 Email Address: Hope.Calhoun@Ruden.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Corey Lengua, Vice President

Senior Project Manager/JP Morgan Chase

OFFICE OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 6/23/11
PRINT NAME: Charles Hirsch Date: 6/23/11
Signature of Consultant/Representative: [Signature] Date: 7-1-11
PRINT NAME: Hope W. Calhoun, Esq. Date: _____
Signature of Tenant: Brian Zolotor Date: 7/1/2011
PRINT NAME: JP Morgan Chase Bank, N.A. Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) _____ sign variance request _____ to my property, which is hereby made by me or I am hereby authorizing (name of the representative) Hope W. Calhoun, Esq. to be my legal representative before the Planning and Development (Board) and/or Committee relative to all matters concerning this application.

Sworn to and subscribed before me
this 23 day of June, 2011

[Signature]
Notary Public State of Florida New York

[Signature]
SIGNATURE OF CURRENT OWNER

Charles Hirsch
PRINT NAME

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR _____

BETTE B. SPARBER
Notary Public, State of New York
No. 01-SP6136295
Qualified in Nassau County
Commission Expires 11/07/2013

CHASE BANK VARIANCE JUSTIFICATION STATEMENT

In connection with the operation of a new Chase bank branch located in the City of Hollywood, Chase ("Chase") is respectfully requesting 5 sign variances. The bank is located at 6975 Taft Street ("Property"). As described further below, the requested signage is intended to complement the existing facility, and aid in the intended success of the branch. Specifically, Chase is requesting the granting of the following variances:

1. A variance from Code Section 8.5.B.4. to allow two additional wall signs on the building. Chase is requesting permission to install wall signs on the west and east elevations of the building where the Code allows 2 wall signs per street frontage and there are existing signs on the south and north elevations.

2. A variance from Code Section 8.5.B.4. to increase the maximum allowable wall sign square footage on the south elevation. Chase is requesting permission to increase the size of an existing wall sign to 73 square feet on the southern elevation where the Code permits a maximum of 57.61 square feet.

3. A variance from Code Section 8.5.B.4. to allow for the installation of the nationally registered and trademarked blue Chase octagon logo on the west and east elevations. Chase is requesting permission to install two 16 square foot blue octagons which would increase the total sign area on both the east and the west elevations by 16 square feet each.

As outlined herein, Chase believes that the requested variances are consistent with the variance criteria of the City's Code and as such should be granted. Section 5.3 (F)(2) of the City's Code provides the criteria to be applied by the Development Review Board when considering variances. The criteria are as follows:

(1) The variance is not contrary to the public interest.

In order to create wall signage that is easily visible from the adjacent right-of-way and proportionate to the building, it is necessary to make the signage on the building larger than what Code permits. To that end, Chase is requesting the minimum variance from the wall signage square footage permissible to maximize the visibility of the "Chase" sign and supporting logo (please see the attached sign graphics) on the south elevation. The visibility and proportionality of the signs and logo are critical to the functionality of the entire building given the fact that this sign is Chase's nationally registered and trademarked signage and logo.

Further, it is imperative, from a safety standpoint, to create wall signage that is easily visible from the adjacent right-of-way. The main function of wall signage is to allow for passing motorist to easily view the signs while causing the least amount of distraction. The best way to achieve this goal is to factor in the size of the building and distance from the adjacent right-of-way and then design signage that is large enough to

accomplish that goal. Chase's sign consultant has designed the proposed signs in such a way that they can be seen by passing motorist and will not cause the hazardous conditions which will result if signs are too small to be easily read from the adjacent right-of-way. The size of the letters on the building are directly proportional to the size of the building and are not contrary to the public interest.

Likewise, additional signage is being requested on the west and east elevations. Specifically, appropriate signage is important on each of these facades so that the business can be identified as motorists travel along Taft Street. Signage is needed (at the appropriate scale) in order to properly advise existing and potential customers to the bank's existence and location.

Lastly, the blue Chase octagon is a federally trademarked symbol of the business. As such, they are requesting a variance to allow for its placement on the east and west elevations. The blue octagon is a recognized Chase symbol and as such serves as a perfect building identifier. Chase does not believe that allowing such a sign is contrary to the public interest.

(2) The variance is required due to special conditions.

Chase has created a successful model within their company and throughout the country with regard to signage. Chase uses uniform signs, in terms of, size, area, height, font types, and sign materials on a vast majority of their bank branches. This Chase practice increases sign recognition and brand recognition for Chase Bank branches throughout the country. Sign recognition is extremely important for enhanced motorist safety due to increased visibility and legibility. Sign recognition also aids in the success of the branch, which benefits the bank and the surrounding community. Chase customers across the country have become accustom to the identifying signs that Chase is requesting for this location. The requested signage allows customers and passing motorist to quickly and efficiently identify the Chase while causing the least amount of distraction. Quick and efficient Chase recognition substantially enhances motorist safety and greatly improves traffic circulation on the surrounding thoroughfares and within the shopping center's parking areas.

To that end, Chase is requesting that the size of the existing sign on the south be increased to 73 feet. Given the building's prominence on Taft Street as an outparcel to an occupied shopping area, prominent signage will aid in locating the bank. Given the bank's unique location, it is important to have signage that will allow the branch to be easily located by passing motorists. Signage that is small or not in scale with the building could be missed considering the vehicular traffic of the shopping center along Taft Street.

For that same reason, it is necessary to add signage to both the west and east elevations at the appropriate scales. The special conditions created by the need for the outparcel building to be easily identified makes these requested variances needed.

(3) A literal enforcement of the provisions of Article 8 may result in unnecessary hardship.

Literal enforcement of the provisions of Article 8 may result in unnecessary hardship. Specifically, given the size of the building, its distance from the right of way and the impact of logo and brand recognition, the requested variances are needed. The branch is new to the area and the requested signage would serve the basic purpose of signage that will properly identify the branch for all customers.



NEW BUILD PROGRAM

July 10, 2011

Taft and 70th Terr
Hollywood, FL 33024

13826

Hollywood Palms

City of Hollywood
Additional Signage Application



CORPORATE OFFICE: 360 CRIDER AVENUE MOORESTOWN, NJ 08057 P - 856.802.1677 F - 856.802.0412

www.nwsignindustries.com

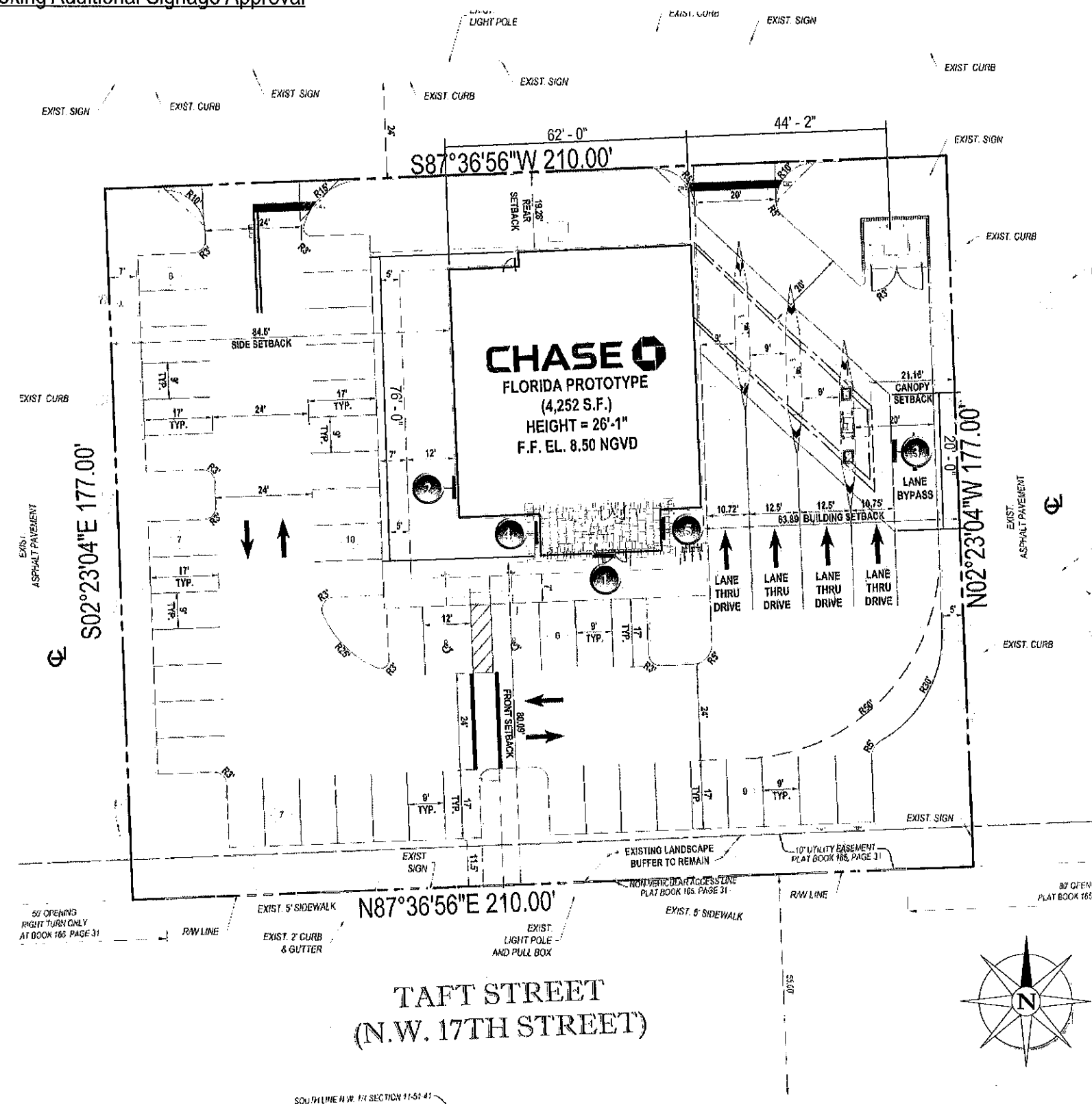
FLORIDA 2416 SAND LAKE ROAD ORLANDO, FL 32809 - TEXAS SERVICE CENTER 460 SOUTH BELTLINE ROAD SUITE 422 IRVING, TX 75060 - NORTH CAROLINA 120 CASCADE DRIVE CONCORD, NC 28027 - TEXAS 7303 BURLISON ROAD, SUITE 706 AUSTIN, TX 78744

NW SIGN INDUSTRIES
IDENTIFY WITH QUALITY

Seeking Additional Signage Approval

NW SIGN INDUSTRIES
IDENTIFY WITH QUALITY

SIGN SCHEDULE					
Proposed Sign Inventory					
Site #	#	Sign Code	Description	SF	Comments
13826	1	LIF-WBO-33-CUST	Channel Letters	73.00	
13826	2	LIF-WBO-24	Channel Letters	36.87	
13826	3	LIF-WBO-24	Channel Letters	36.87	
13826	4	SCU-OCT-EXT	Exterior Octagon	16.00	
13826	5	SCU-OCT-EXT	Exterior Octagon	16.00	

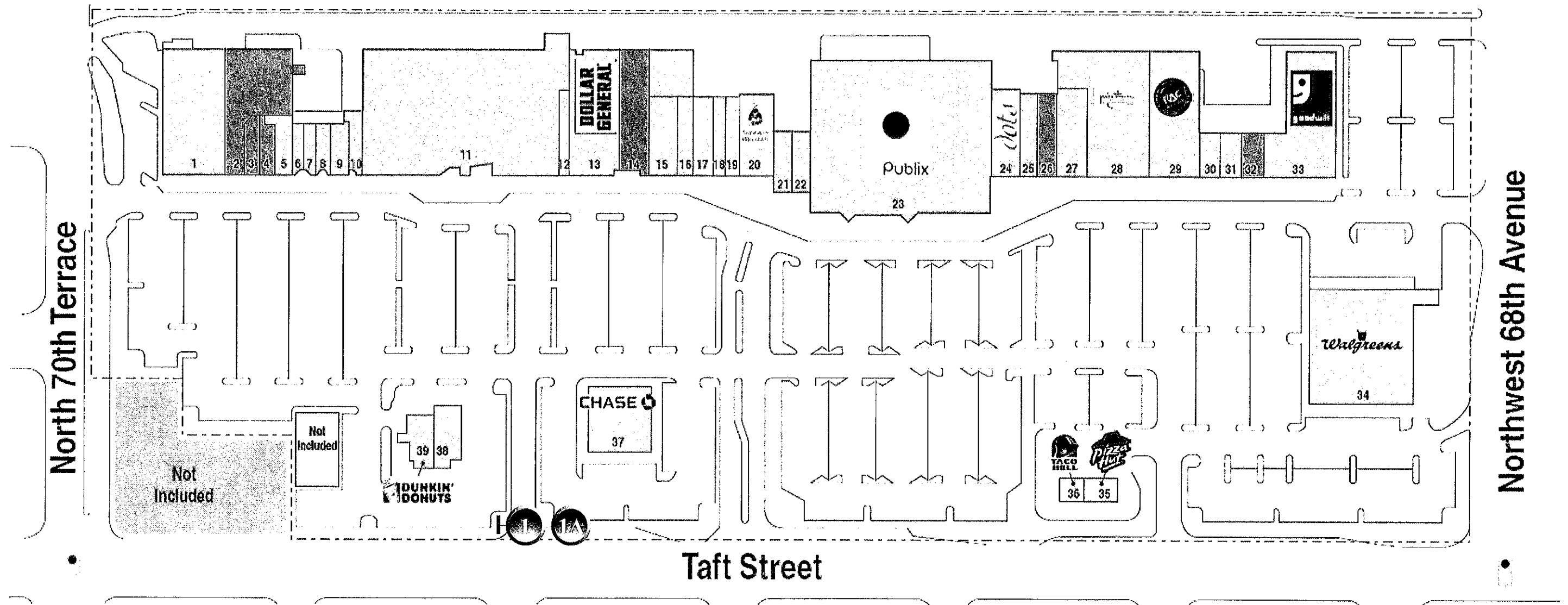


10-0764-17

CORPORATE OFFICE: 360 CRIDER AVENUE MOORESTOWN, NJ 08057 P - 856.802.1677 F - 856.802.0412

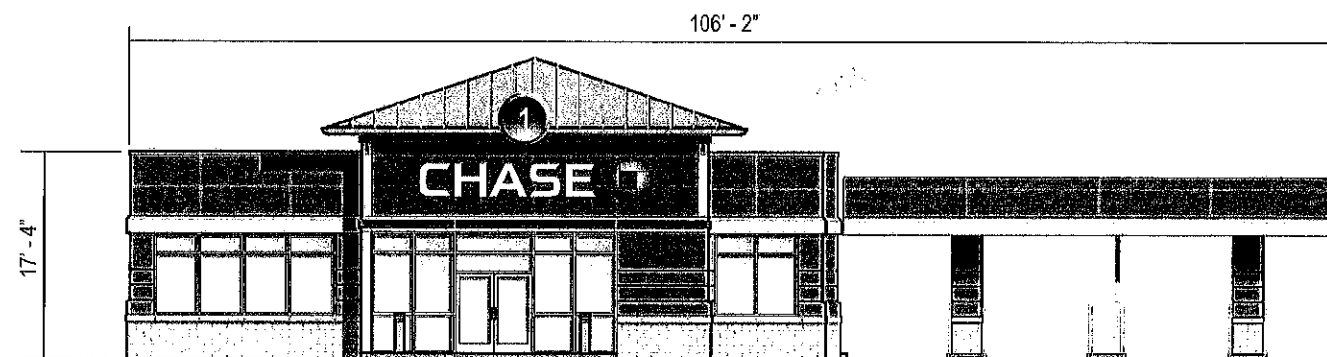
FLORIDA 2416 SAND LAKE ROAD ORLANDO, FL 32809 - TEXAS SERVICE CENTER 460 SOUTH BELTLINE ROAD SUITE 422 IRVING, TX 75060 - NORTH CAROLINA 120 CASCADE DRIVE CONCORD, NC 28027 - TEXAS 7303 BURLESON ROAD, SUITE 706 AUSTIN, TX 78744

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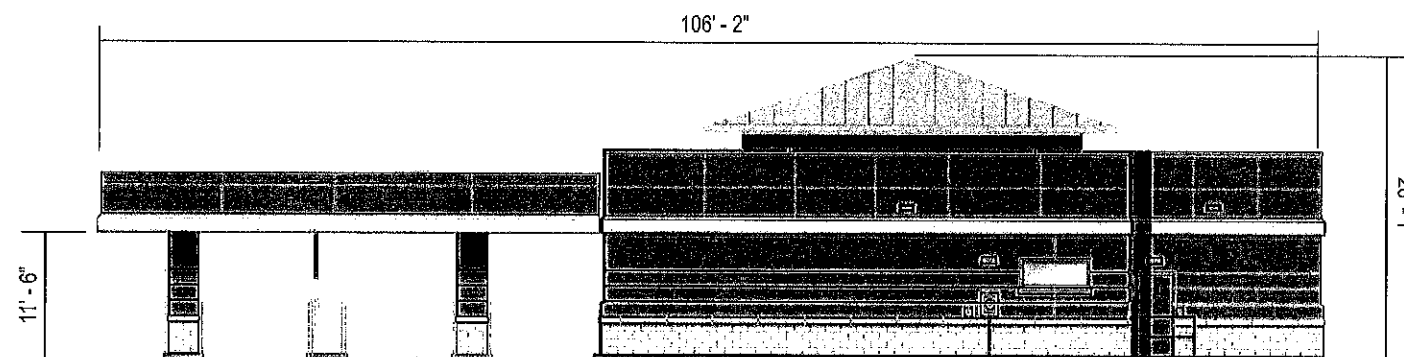


ELEVATIONS/CHANNEL LETTERS

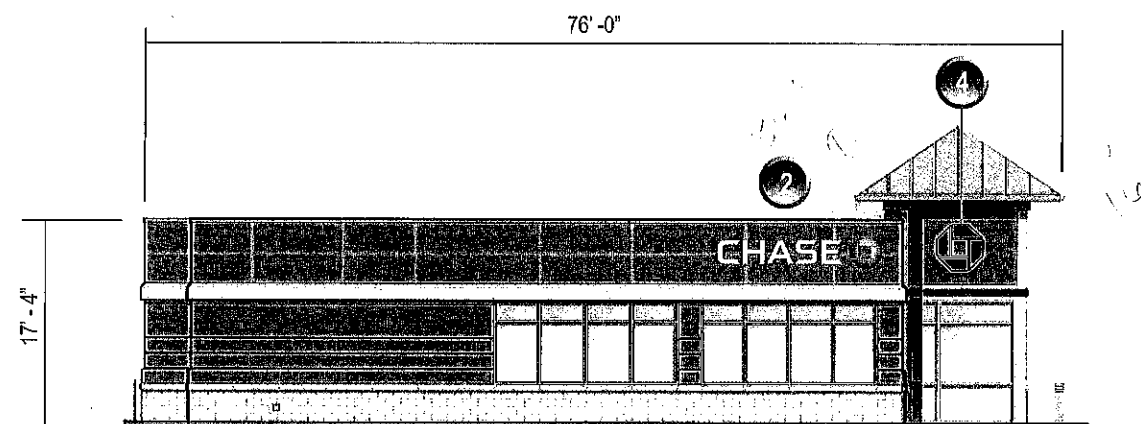
Seeking Additional Signage Approval



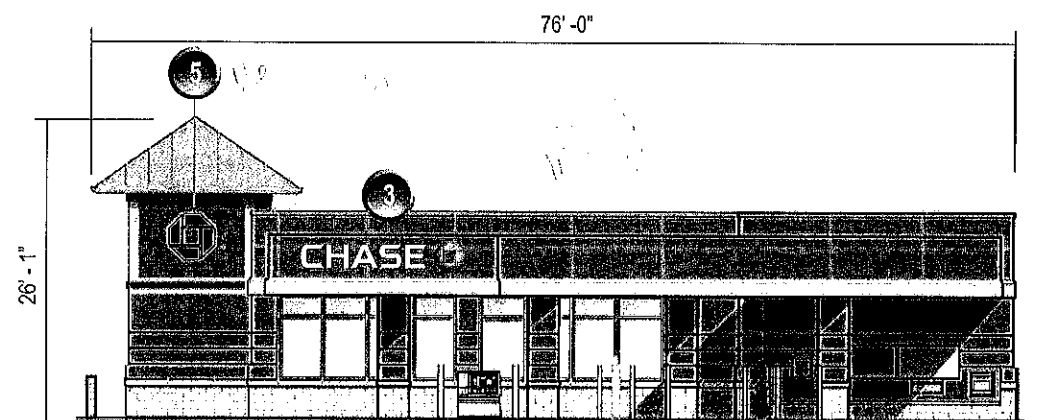
SOUTH ELEVATION - (WHITE LTRS / BLUE OCTAGON) - LIF-WBO-33-CUST
Scale: 1/16" = 1'-0"



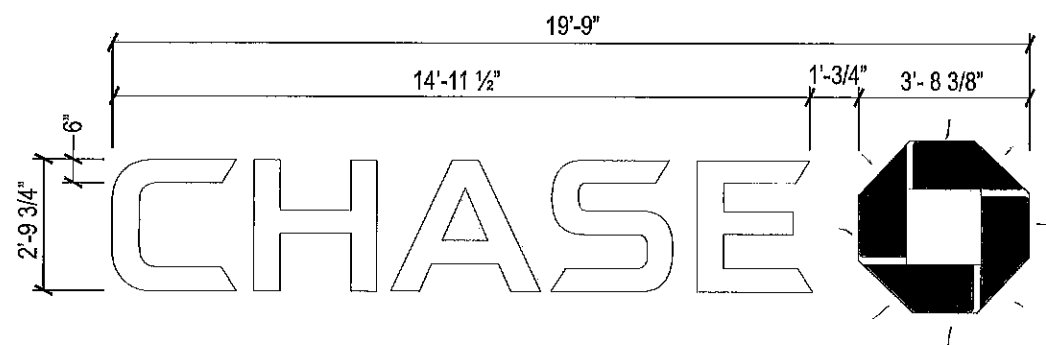
NORTH ELEVATION - (WHITE LTRS / BLUE OCTAGON) - LIF-WBO-24
Scale: 1/16" = 1'-0"



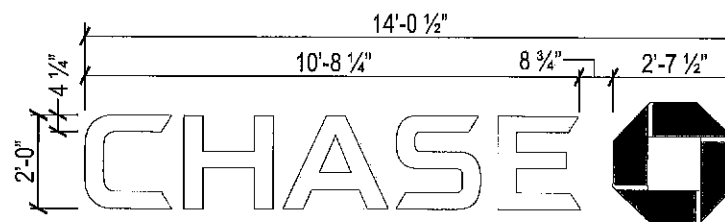
WEST ELEVATION - (WHITE LTRS / BLUE OCTAGON) - LIF-WBO-24
Scale: 1/16" = 1'-0"



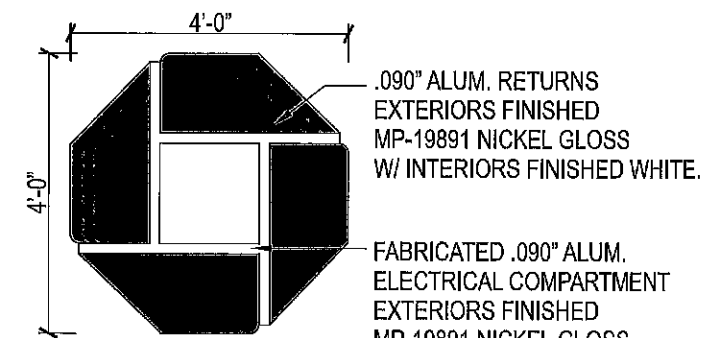
EAST ELEVATION - (WHITE LTRS / BLUE OCTAGON) - LIF-WBO-24
Scale: 1/16" = 1'-0"



1 CHANNEL LETTERS - LIF-WBO-33-CUST - ELEVATION
SCALE: 1/4" = 1'-0" SQ FT = 73.00



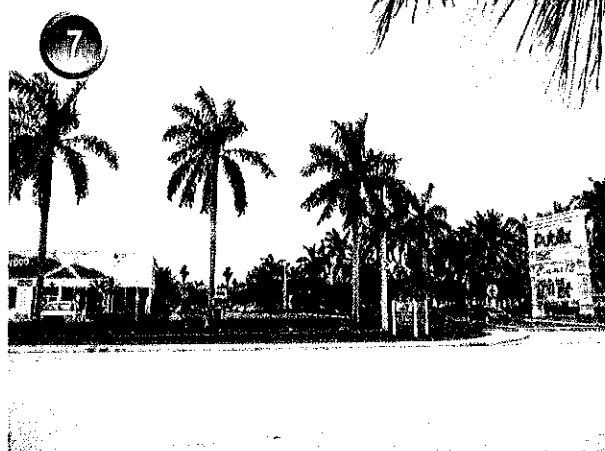
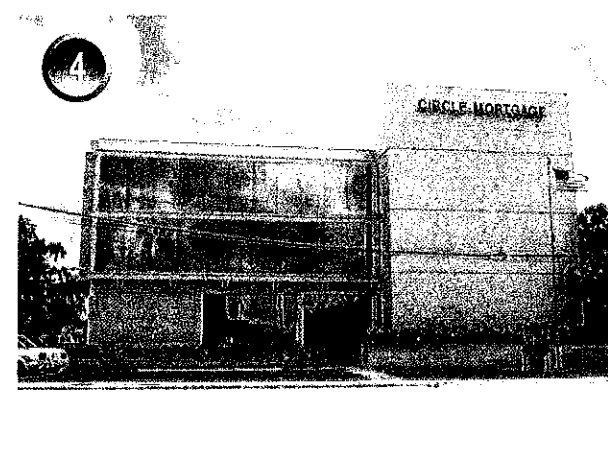
2 3 CHANNEL LETTERS - LIF-WBO-24 - ELEVATION
SCALE: 1/4" = 1'-0" SQ FT = 36.87



4 5 EXTERIOR OCTAGON - SCU-OCT-EXT-48
SCALE: 3/8" = 1'-0" SQ FT = 16

CLIENT NAME: **CHASE** ADDRESS: **Taft and 70th Terr Hollywood, FL 33024** CITY: **13826**

DATE: **9/15/11** DRAWING NO.: **10-0764-17**

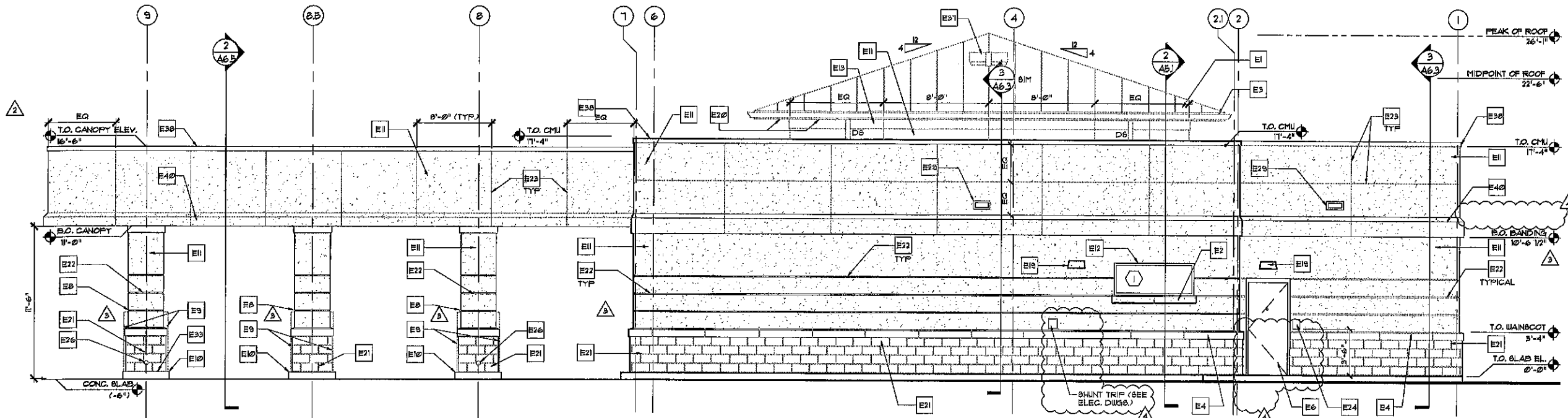


REV.	BY	DATE & COMMENTS
1	JU	FIRE MARSHALL COMMENT 1-16-10
2	JU	REVISIONS 02-04-10
3	BL	REVISIONS 11-29-10

JOB NUMBER:	02314
DATE:	4-9-10
DRAWN BY:	JU
SCALE:	AS NOTED
DRAWING:	EXTERIOR

BUILDING ELEVATIONS

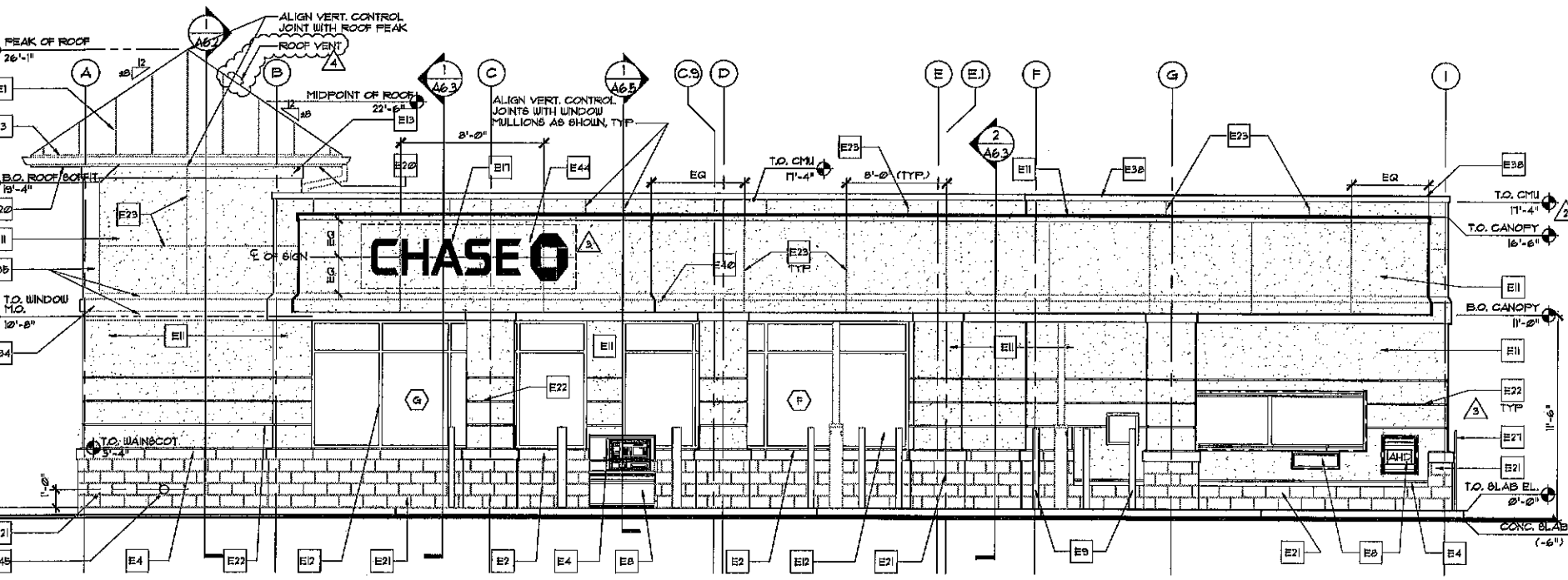
SHEET NUMBER
A4.2



NORTH BUILDING ELEVATION

SCALE
1/4" = 1'-0"

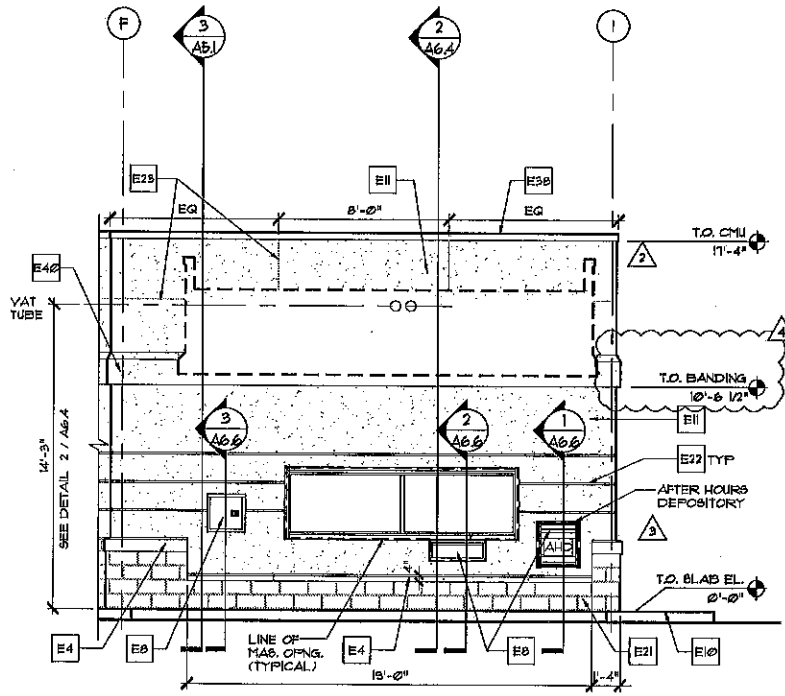
1



EAST BUILDING ELEVATION

SCALE
1/4" = 1'-0"

2



EXTERIOR DRIVE-THRU ELEVATION

SCALE
1/4" = 1'-0"

3

ELEVATION KEYNOTES

- | | |
|---|--|
| E1 STANDING SEAM MET. ROOFING, MATCH BERRIDGE MANUF. CO. COLOR: ZINC GRAY | E8 BANK EQUIPMENT BY OWNER, G.C. TO PROVIDE OPENINGS AND ELECTRICAL REQUIREMENTS IN ACCORDANCE WITH FINAL APPROVED BANK EQUIPMENT SHOP DRAWINGS. |
| E2 CUSTOM CAST STONE WINDOW SILL BY ROCKCAST, COLOR TO BE 'BONE' GP-B WITH SMOOTH (SM) TEXTURE | E9 BOLLARD BY G.C. SEE DETAIL 8 SHI. A6.1 |
| E3 PREFINISHED METAL GUTTERS, 6" W. x 4 3/4" DEEP, 'K-STYLE' W/ 4" W. x 2 1/4" DEEP CORRUGATED RECTANGULAR DOWNSPOUTS, GUTTER, DS, & FASCIA COLOR TO BE EPT-1 | E10 CONCRETE CURB & ISLANDS |
| E4 CAST STONE WATERTABLE BY ROCKCAST W/FS02, COLOR TO BE 'BONE' GP-B WITH SMOOTH (SM) TEXTURE | E11 EIFS-3, WITH SCORE PATTERN AS INDICATED. |
| E5 FLASHING TO CONNECT CANOPY TO BUILDING. SEE SHEET A6.5 | E12 GLAZED ALUMINUM STOREFRONT WINDOW, SEE SHEET A-82 |
| E6 HOLLOW METAL DOOR & FRAME, PAINT EPT-1 | E13 EIFS-1 (APPLY AT VERT. & HORIZ. FACE) |
| E7 6" TALL WITH 1/2" THICK STROKE VINYL ADDRESS NUMBER (WHITE) | E14 SIGN BY SIGN PROVIDER, ELECTRICAL POWER & FINAL CONNECTION BY G.C. |
| | E15 GLAZED ALUMINUM CURTAINWALL SYSTEM, SEE SHEET A-82 |

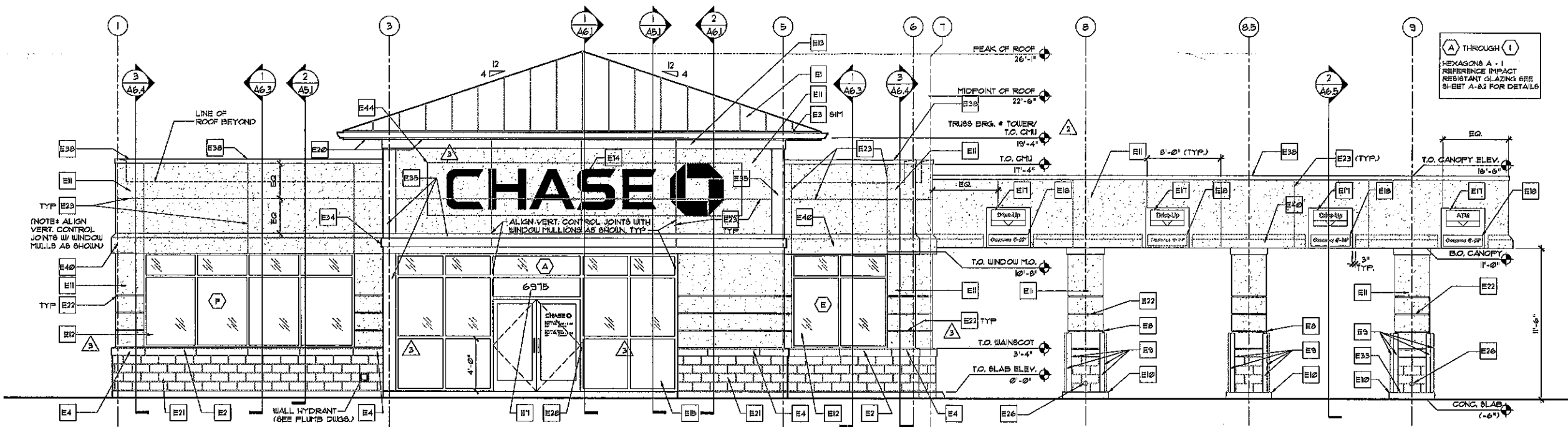
- | | |
|---|---|
| E16 (NOT USED) | E24 FLUSH KNOX BOX - VERIFY LOCATION |
| E17 SIGN- ELEC. POWER REQ'D | E25 NOT USED |
| E18 SIGN- NO ELEC. POWER REQ'D | E26 CANOPY ROOF OVERFLOW DOWNSPOUT NOZZLE, SEE CANOPY DETAILS |
| E19 EXTERIOR LIGHT FIXTURE, SEE ELEC. DWGS. | E27 1 1/2" DIA. PRE-FIN. ALUM. RAIL (MATCH EPT-1), CORE DRILL & EPOXY GROUT INTO CONC. MIN. 8" DEPTH & MIN. 2" CONC. COVERAGE |
| E20 PAINT BOFFIT EPT-1 | E28 CARD READER & OVERRIDE SWITCH - REFER TO SECURITY DRAWINGS FOR ADD'L INFO. |
| E21 4" CAST STONE VENEER AS MANUFACTURED BY ROCKCAST, COLOR TO BONE GP-B WITH SLATE (SLT) TEXTURE | E29 RELIEF SCUPPER (PRE-FINISHED OR PAINTED TO MATCH EPT-3) |
| E22 1" WIDE X 3/4" DEEP REVEAL, SEE DETAIL 4 / A4.1 | E30 UPPER FASCIA PANEL, ANODIC CLEAR FINISH (SUBMIT SAMPLES FOR APPROVAL) |
| E23 CONTROL JOINT- 3/4" WIDE 'V' GROOVE, SEE DETAIL 3 / A4.1 | E31 LOWER FASCIA PANEL, REYNOLDBOND KONIG BLUE FINISH (SUBMIT SAMPLES FOR APPROVAL) |

- | | |
|--|---|
| E32 STEEL TUBE COLUMN TO BE PAINTED (EPT-6) BY GENERAL CONTRACTOR | E38 MET. COPING, PRE-FINISHED TO MATCH ADJACENT EIFS |
| E33 PROVIDE WEATHER TIGHT SHEET ALUM BOX OVER CONDUIT STUD OPENING IN ISLAND. | E39 EIFS ACCENT BAND, EIFS-2 |
| E34 OMEGA-LITE ALUM. PANELS "REGAL BLUE" AS MANUF. BY LAMINATORS, INC. ROUT AND RETURN INSTALLATION SYSTEM, CONTACT 848 CORPORATION OF ILLINOIS, PHONE# 630-821-0910. | E40 (NOT USED) |
| E35 OMEGA-LITE ALUM. PANELS "BRIGHT SILVER" AS MANUF. BY LAMINATORS, INC. ROUT AND RETURN INSTALLATION SYSTEM, CONTACT 848 CORPORATION OF ILLINOIS, PHONE# 630-821-0910. | E41 (NOT USED) |
| E36 (NOT USED) | E42 (NOT USED) |
| E37 OFF-RIDGE ROOF VENTS W/ INSECT SCREEN. SEE SPECIFICATIONS | E43 (NOT USED) |
| | E44 PROVIDE 5/8" THICK EXPOSURE 1 PLYWOOD SHEATHING IN LIEU OF DENOGLASS FOR SIGN MOUNTING. NOTE: PLYWOOD ONLY APPLIED TO STEEL CONSTRUCTION. |
| | E45 ROOF OVERFLOW DRAIN, DOWNSPOUT, SEE PLUMBING DRAWINGS |

EXTERIOR ELEVATION SPECIFIC NOTES

SCALE
(NOT TO SCALE)

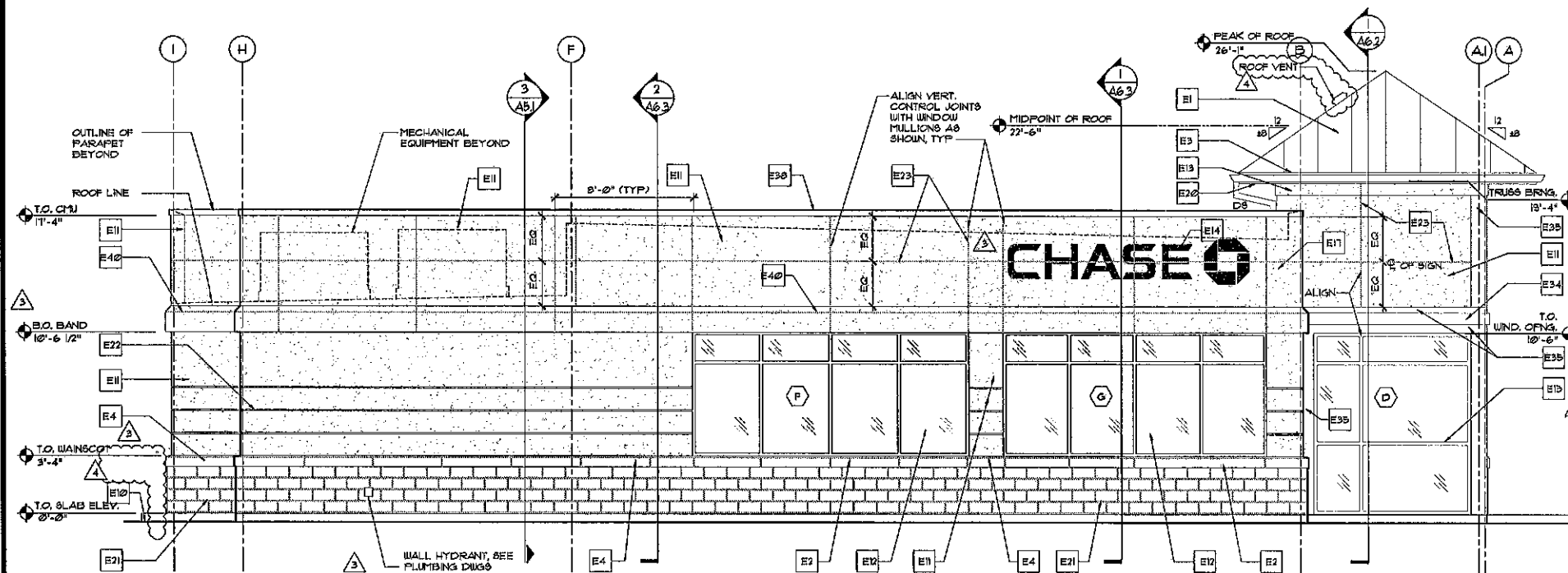
4



SOUTH BUILDING ELEVATION

SCALE
1/4" = 1'-0"

1



WEST BUILDING ELEVATION

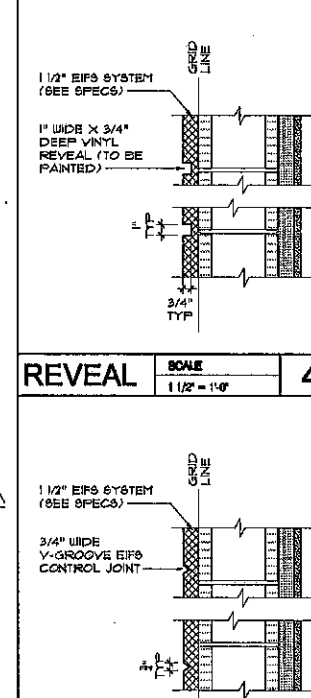
SCALE
1/4" = 1'-0"

2

REVEAL

SCALE
1 1/2" = 1'-0"

4



PAINTS

- (EPT-1) EXTERIOR PAINT: EXTERIOR ALUMINUM / GALVANIZED METAL SURFACES (CORRESPONDS EIFS-2)
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: METALTEX ACRYLIC SEMI-GLOSS
PRODUCT NO.: B47 SERIES
COLOR: SW 1036 "INTELLECTUAL GRAY"
FINISH: SEMI-GLOSS
- (EPT-2) EXTERIOR PAINT: EXTERIOR ALUMINUM / GALVANIZED METAL SURFACES (CORRESPONDS EIFS-3)
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: METALTEX ACRYLIC SEMI-GLOSS
PRODUCT NO.: B47 SERIES
COLOR: SW 1036 "ACCESSIBLE BEIGE"
FINISH: SEMI-GLOSS
- (EPT-3) EXTERIOR PAINT: EXTERIOR ALUMINUM / GALVANIZED METAL SURFACES (CORRESPONDS EIFS-3)
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: METALTEX ACRYLIC SEMI-GLOSS
PRODUCT NO.: B47 SERIES
COLOR: SW 0001 "DECOROUS AMBER"
FINISH: SEMI-GLOSS
- (EPT-4) NOT USED
- (EPT-5) NOT USED
- (EPT-6) NOT USED

EIFS

- (EIFS-1) EXTERIOR INSULATION + FINISH SYSTEM: EXTERIOR EIFS SURFACES (REAR WALLS + SOFFIT SURFACES OF ENTRY TOWER)
MANUFACTURER: STO CORP. (OR APPROVED EQUAL)
PRODUCT: STO THERM PREMIER NEXT (WALLS)
STO DIRECT APPLIED FINISH SYSTEM FOR SOFFITS
COLOR: TO MATCH SHERWIN WILLIAMS SW 1036 "INTELLECTUAL GRAY"
FINISH: STO STOTHERM LOTUSAN SYSTEM L0 (FINE)
- (EIFS-2) EXTERIOR INSULATION + FINISH SYSTEM: EXTERIOR EIFS SURFACES (EIFS PARAPET)
MANUFACTURER: STO CORP. (OR APPROVED EQUAL)
PRODUCT: STO THERM PREMIER NEXT
COLOR: TO MATCH SHERWIN WILLIAMS SW 1036 "ACCESSIBLE BEIGE"
FINISH: STO STOTHERM LOTUSAN SYSTEM L0 (FINE)
- (EIFS-3) EXTERIOR INSULATION + FINISH SYSTEM: EXTERIOR EIFS SURFACES (EIFS PARAPET)
MANUFACTURER: STO CORP. (OR APPROVED EQUAL)
PRODUCT: STO THERM PREMIER NEXT
COLOR: TO MATCH SHERWIN WILLIAMS SW 0001 "DECOROUS AMBER"
FINISH: STO STOTHERM LOTUSAN SYSTEM L0 (FINE)

ELEVATION KEYNOTES

- E1 STANDING SEAM MTL. ROOFING, MATCH BERRIDGE MANUF. CO. COLOR: "ZING GRAY"
- E2 CUSTOM CAST STONE WINDOW SILL, BY ROCKCAST, COLOR TO BE "BONE" GP-B WITH SMOOTH (SM) TEXTURE
- E3 PREFINISHED METAL GUTTERS, 6" W x 4 3/4" DEEP, "K-STYLE" W/ 4" W x 2 1/4" DEEP CORRUGATED RECTANGULAR DOWNSPOUTS, GUTTER, D9, 4 FASCIA COLOR TO BE EPT-1
- E4 CAST STONE WATERTABLE BY ROCKCAST "UTS02", COLOR TO BE "BONE" GP-B WITH SMOOTH (SM) TEXTURE
- E5 FLASHING TO CONNECT CANOPY TO BUILDING. SEE SHEET A6-3
- E6 HOLLOW METAL DOOR + FRAME, PAINT EPT-1
- E7 6" TALL WITH 1/2" THICK STROKE VINYL ADDRESS NUMBER (WHITE)
- E8 BANK EQUIPMENT BY CUNER, G.C. TO PROVIDE OPENINGS AND ELECTRICAL REQUIREMENTS IN ACCORDANCE WITH FINAL APPROVED BANK EQUIPMENT SHOP DRAWINGS.
- E9 BOLLARD BY G.C. SEE DETAILS SHT. A5-1
- E10 CONCRETE CURBS + ISLANDS
- E11 EIFS-3, WITH SCORE PATTERN AS INDICATED.
- E12 GLAZED ALUMINUM STOREFRONT WINDOW, SEE SHEET A-82
- E13 EIFS-1 (APPLY AT VERT. + HORIZ. FACE)
- E14 SIGN BY SIGN PROVIDER, ELECTRICAL POWER + FINAL CONNECTION BY G.C.
- E15 GLAZED ALUMINUM CURTAINWALL SYSTEM, SEE SHEET A-82
- E16 (NOT USED)
- E17 SIGN- ELEC. POWER REQ'D
- E18 SIGN- NO ELEC. POWER REQ'D
- E19 EXTERIOR LIGHT FIXTURE, SEE ELEC. DWGS.
- E20 PAINT SOFFIT EPT-1
- E21 4" CAST STONE VENEER AS MANUFACTURED BY ROCKCAST, COLOR TO BE "BONE" GP-B WITH SLATE (SLT) TEXTURE
- E22 1" WIDE X 3/4" DEEP REVEAL. SEE DETAIL 4 / A41
- E23 CONTROL JOINT- 3/4" WIDE V-GROOVE. SEE DETAIL 3 / A41
- E24 FLUSH KNOX BOX - VERIFY LOCATION
- E25 NOT USED
- E26 CANOPY ROOF OVERFLOW DOWNSPOUT NOZZLE. SEE CANOPY DETAILS
- E27 1 1/2" DIA. PRE-FIN. ALUM. RAIL (MATCH EPT-1), CORE DRILL + EPOXY GROUT INTO CONC. MIN. 8" DEPTH + MIN. 2" CONC. COVERAGE
- E28 CARD READER + OVERRIDE SWITCH - REFER TO SECURITY DRAWINGS FOR ADD'L INFO.
- E29 RELIEF SCUPPER (PRE-FINISHED OR PAINTED TO MATCH EPT-3)
- E30 UPPER FASCIA PANEL ANODIC CLEAR FINISH (SUBMIT SAMPLES FOR APPROVAL)
- E31 LOWER FASCIA PANEL REYNOLDS KONG BLUE FINISH (SUBMIT SAMPLES FOR APPROVAL)
- E32 STEEL TUBE COLUMN TO BE PAINTED (EPT-6) BY GENERAL CONTRACTOR
- E33 PROVIDE WEATHER TIGHT SHEET ALUM BOX OVER CONDUIT STUD OPENING IN ISLAND.
- E34 OMEGA-LITE ALUM. PANELS "REGAL BLUE" AS MANUF. BY LAMINATORS, INC. ROUT AND RETURN INSTALLATION SYSTEM, CONTACT 545 CORPORATION OF ILLINOIS, PHONE# 630-521-0910.
- E35 OMEGA-LITE ALUM. PANELS "BRIGHT SILVER" AS MANUF. BY LAMINATORS, INC. ROUT AND RETURN INSTALLATION SYSTEM, CONTACT 545 CORPORATION OF ILLINOIS, PHONE# 630-521-0910.
- E36 (NOT USED)
- E37 OFF-RIDGE ROOF VENTS W/ INSECT SCREEN. SEE SPECIFICATIONS
- E38 MTL COPING, PRE-FINISHED TO MATCH ADJACENT EIFS
- E39 EIFS ACCENT BAND, EIFS-2
- E40 (NOT USED)
- E41 (NOT USED)
- E42 (NOT USED)
- E43 (NOT USED)
- E44 PROVIDE 5/8" THICK EXPOSURE I FLYWOOD SHEATHING IN LIEU OF DENSELASH FOR SIGN MOUNTING. NOTE: FLYWOOD ONLY APPLIES TO STEEL CONSTRUCTION.
- E45 ROOF OVERFLOW DRAIN, DOWNSPOUT, SEE PLUMBING DRAWINGS

EXTERIOR ELEVATION SPECIFIC NOTES

SCALE
(NOT TO SCALE)

5

FINISH LGND

SCALE
NOT TO SCALE

6

THIS DRAWING AND ALL CONSTRUCTIONS ARE THE PROPERTY OF B2B9 ARCHITECTS, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF B2B9 ARCHITECTS, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS A VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. B2B9 ARCHITECTS, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE USER OF THIS DRAWING IS ADVISED THAT IT IS THE USER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. B2B9 ARCHITECTS, INC. IS NOT RESPONSIBLE FOR ANY CONSEQUENCES OF THE USER'S FAILURE TO OBTAIN SUCH PERMITS AND APPROVALS. B2B9 ARCHITECTS, INC. IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DRAWING. B2B9 ARCHITECTS, INC. IS NOT RESPONSIBLE FOR ANY LOSS OF PROFITS OR OTHER ECONOMIC LOSS CAUSED BY THE USE OF THIS DRAWING. B2B9 ARCHITECTS, INC. IS NOT RESPONSIBLE FOR ANY OTHER DAMAGES OF ANY KIND CAUSED BY THE USE OF THIS DRAWING. B2B9 ARCHITECTS, INC. IS NOT RESPONSIBLE FOR ANY OTHER CONSEQUENCES OF THE USER'S FAILURE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS. B2B9 ARCHITECTS, INC. IS NOT RESPONSIBLE FOR ANY OTHER DAMAGES OF ANY KIND CAUSED BY THE USE OF THIS DRAWING.

JPMorgan Chase Bank
6975 Taft Street
City of Hollywood, Broward County, Florida 33024

REV.	DATE & COMMENTS
1	PIKE MARSHALL COMMENT 1-16-10
2	REVISIONS 09-24-10
3	REVISIONS 11-29-10

JOB NUMBER: 08314
DATE: 4-9-10
DRAWN BY: JU
SCALE: AS NOTED
DRAWING: EXTERIOR

BUILDING ELEVATIONS
SHEET NUMBER
A4.1

LEGEND

- CONCRETE
- ASPHALT PAVEMENT
- PALM TREE
- TREE
- ELEVATION
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND STORM SEWER LINE
- CENTERLINE
- O.R.B. OFFICIAL RECORDS BOOK
- NON-VEHICULAR ACCESS LINE
- HANDICAPPED PARKING
- SIGN
- LIGHT POLE
- CATCH BASIN
- HANDHOLE

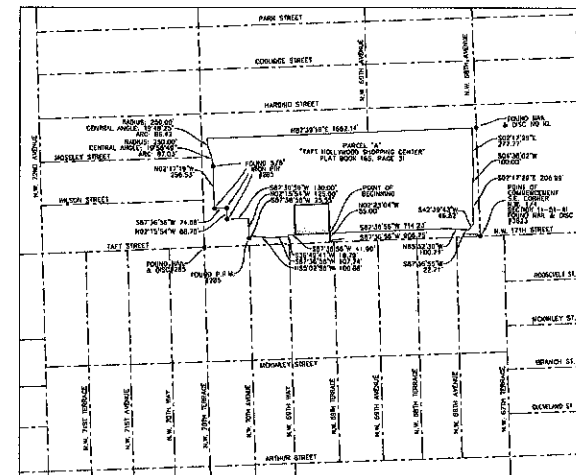
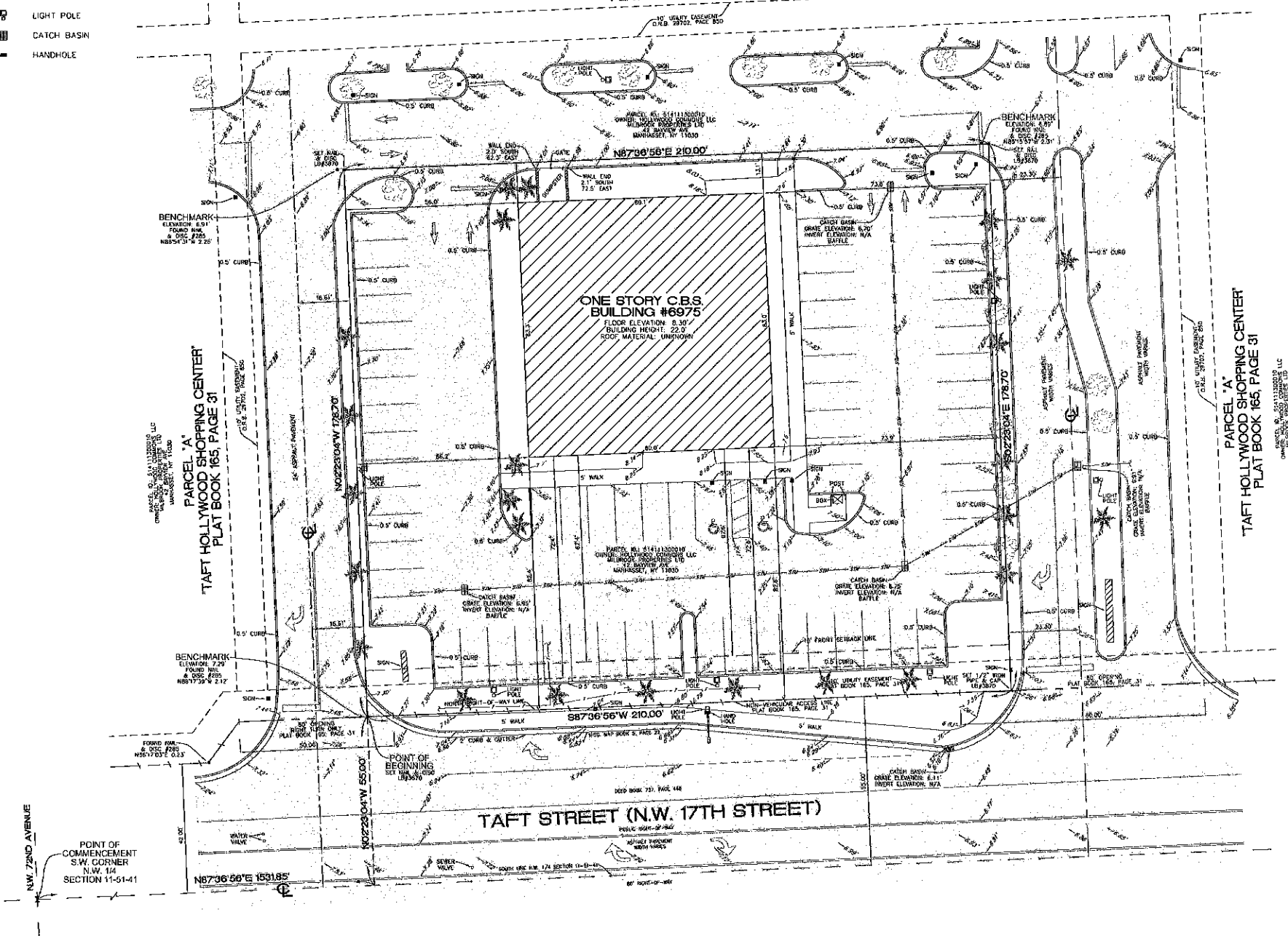
LEGAL DESCRIPTION:

A PORTION OF PARCEL "A", "TAFT HOLLYWOOD SHOPPING CENTER" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 165, PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 51 SOUTH, RANGE 41 EAST; THENCE NORTH 87°36'56" EAST ON THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF SECTION 11, A DISTANCE OF 1,531.85 FEET; THENCE NORTH 02°23'04" WEST A DISTANCE OF 55.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 02°23'04" WEST A DISTANCE OF 178.70 FEET; THENCE NORTH 87°36'56" EAST A DISTANCE OF 210.00 FEET; THENCE SOUTH 02°23'04" EAST A DISTANCE OF 178.70 FEET; THENCE SOUTH 87°36'56" WEST ON THE NORTH RIGHT-OF-WAY LINE OF TAFT STREET AND THE WESTERLY EXTENSION THEREOF A DISTANCE OF 210.00 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

PARCEL "A" "TAFT HOLLYWOOD SHOPPING CENTER" PLAT BOOK 165, PAGE 31



LOCATION MAP
NOT TO SCALE

NOTES:

- THE AREA OF THIS PROPERTY IS 37,527 SQUARE FEET, 0.8615 ACRES.
- ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929, CITY OF HOLLYWOOD BENCHMARK: NAIL & DISC AT INTERSECTION OF W 67 TERM & TAFT STREET, ELEVATION: 7.209.
- FLOOD ZONE: AH, BASE FLOOD ELEVATION: 6.0 FEET, PANEL #125113 0304F, MAP DATE: 08/18/92.
- THIS SITE LIES IN SECTION 11, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON THE NORTH RIGHT-OF-WAY LINE OF TAFT STREET BEING N87°36'56"E.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.1'.
- THIS SITE IS ZONED C-3 MEDIUM INTENSITY COMMERCIAL DISTRICT.
- REQUIRED SETBACKS FOR C-3 ZONE: FRONT-15', REAR-0', SIDE-0', 5' BUFFER REQUIRED ALL SIDES.
- THIS SITE CONTAINS 65 REGULAR PARKING SPACES AND 2 HANDICAPPED SPACES. TOTAL NUMBER OF VEHICLES THAT CAN BE PARKED: 67.
- ZONING AND SETBACK INFORMATION WAS PROVIDED BY CLIENT IN PHASE 1 FEASIBILITY REPORT DATED SEPTEMBER 1, 2009, CHASE PROJECT #13826.
- THIS SURVEY WAS PREPARED WITH BENEFIT OF TITLE COMMITMENT ORDER NO.: 2993895 PROVIDED BY CHICAGO TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF DECEMBER 09, 2009 AT 11:00 A.M. THE FOLLOWING ARE SCHEDULE B SECTION 2 EXCEPTIONS TO SAID COMMITMENT:
 - ITEM 1 - 2, 3 & 4 - NOT ADDRESSED.
 - ITEM 5 - RESTRICTIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 165, PAGE 31 AS AFFECTED BY O.R.B. 28770, PAGE 493 AFFECT THIS SITE.
 - ITEM 6 - AGREEMENT IN O.R.B. 28770, PAGE 479 AFFECTS THIS SITE.
 - ITEM 7 - DECLARATION OF RESTRICTIVE COVENANT IN O.R.B. 30995, PAGE 905 AFFECTS THIS SITE.
 - ITEM 8 - MUNICIPAL PERMIT IN O.R.B. 28775, PAGE 570 AFFECTS THIS SITE.
 - ITEM 9 - DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS IN O.R.B. 28976, PAGE 1851, AS AMENDED BY O.R.B. 32401, PAGE 19, AS ASSIGNED BY O.R.B. 45584, PAGE 737 AFFECTS THIS SITE.
 - ITEM 10 - EASEMENT IN O.R.B. 28702, PAGE 850, DERIVED HEREON, DOES NOT AFFECT THIS SITE.
 - ITEM 11 - RESTRICTIONS IN O.R.B. 28791, PAGE 1365 AS MODIFIED BY O.R.B. 29043, PAGE 1255 AND O.R.B. 29265, PAGE 757 AND CONFIRMED BY O.R.B. 28479, PAGE 451 AFFECT THIS SITE.
 - ITEM 12 - RESTRICTIONS IN O.R.B. 28976, PAGE 1905 AS MODIFIED BY O.R.B. 29043, PAGE 1219 AND O.R.B. 29122, PAGE 1855 AFFECT THIS SITE.
 - ITEM 13 - RESTRICTIONS IN O.R.B. 28187, PAGE 510 AS AMENDED BY O.R.B. 28925, PAGE 1031 AS MODIFIED BY O.R.B. 29043, PAGE 1246 AND O.R.B. 29043, PAGE 1252 AFFECT THIS SITE.
 - ITEM 14 - TERMS, COVENANTS, CONDITIONS AND OTHER MATTERS IN O.R.B. 30526, PAGE 1640 AFFECT THIS SITE.
 - ITEM 15 - NOT ADDRESSED.
 - ITEM 16 - MORTGAGE IN O.R.B. 45584, PAGE 749 AFFECTS THIS SITE.
 - ITEM 17 - ASSIGNMENT OF LEASES AND RENTS IN O.R.B. 45584, PAGE 764 AFFECTS THIS SITE.
 - ITEM 18 - UCC FINANCING STATEMENT IN O.R.B. 45584, PAGE 773 AFFECTS THIS SITE.

SURVEYOR'S CERTIFICATE:

THE UNDERSIGNED REGISTERED PUBLIC SURVEYOR (THE "SURVEYOR") HEREBY CERTIFIES TO JPMORGAN CHASE BANK, NATIONAL ASSOCIATION, CHICAGO, TITLE INSURANCE COMPANY, AND FIRST STATES GROUP THAT (A) THIS PLAT OF SURVEY AND THE PROPERTY DESCRIPTION SET FORTH HEREON ARE TRUE AND CORRECT AND PREPARED FROM AN ACTUAL ON-THE-GROUND SURVEY OF THE REAL PROPERTY (THE "PROPERTY") SHOWN HEREON; (B) SUCH SURVEY WAS CONDUCTED BY THE SURVEYOR, OR UNDER HIS SUPERVISION; (C) ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST, AND THE LOCATION, SIZE AND TYPE OF MATERIAL THEREOF ARE CORRECTLY SHOWN; (D) EXCEPT AS SHOWN HEREON, THERE ARE NO ENCROACHMENTS ONTO THE PROPERTY OR PROTRUSIONS THEREFROM, THERE ARE NO IMPROVEMENTS ON THE PROPERTY, THERE ARE NO VISIBLE EASEMENTS OR RIGHTS-OF-WAY ON THE PROPERTY AND THERE ARE NO VISIBLE DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA OR BOUNDARY LINE CONFLICTS; (E) THE SIZE, LOCATION AND TYPE OF IMPROVEMENTS ARE AS SHOWN HEREON, AND ALL ARE LOCATED WITHIN THE BOUNDARIES OF THE PROPERTY AND SET BACK FROM THE PROPERTY LINES THE DISTANCES INDICATED; (F) THE DISTANCE FROM THE NEAREST INTERSECTING STREET OR ROAD IS SHOWN; (G) THE PROPERTY HAS ACCESS TO AND FROM A PUBLIC ROADWAY VIA SHOPPING CENTER ACCESS ROADS; (H) ALL RECORDED EASEMENTS HAVE BEEN CORRECTLY PLATTED HEREON; (I) THE BOUNDARIES, DIMENSIONS AND OTHER DETAILS SHOWN HEREON ARE TRUE AND CORRECT; AND (J) THE PROPERTY IS LOCATED IN A 100-YEAR FLOOD PLAIN OR IN AN IDENTIFIED "FLOOD PRONE AREA," AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, PURSUANT TO THE FLOOD DISASTER PROTECTION ACT OF 1973, AS AMENDED, AS REFLECTED BY FLOOD INSURANCE RATE MAP PANEL #125113 0304F, DATED 08/18/92, WHICH SUCH MAP PANEL COVERS THE AREA IN WHICH THE PROPERTY IS SITUATED. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 9, 10, 11(A), 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100 OF TABLE A THEREOF PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE MAXIMUM RELATIVE POSITIONAL ACCURACY IS ±0.2' FEET.

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2591
- BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS8136
- STATE OF FLORIDA

NO.	REVISIONS	BY
3		
2		
1		
0		

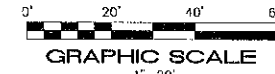
PROPOSED
CHASE-HOLLYWOOD PALMS #13826
6875 TAFT STREET
HOLLYWOOD, BROWARD COUNTY, FLORIDA
33024

ALTA/ACSM LAND TITLE SURVEY



PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: B.E.	SCALE: 1" = 20'	FILE: BOHLER ENGINEERING
CHECKED BY: J.F.P.	SURVEY DATE: 10/28/09	ORDER NO: 52595



ATTACHMENT C

Zoning and Land Use Map

OFFICE OF PLANNING

Legend

Parcels with Taxroll Info

Zoning

ZONING

3

O-1

O-2

9-54

Land_Use

hollywood_lu

CBUS

SECRET

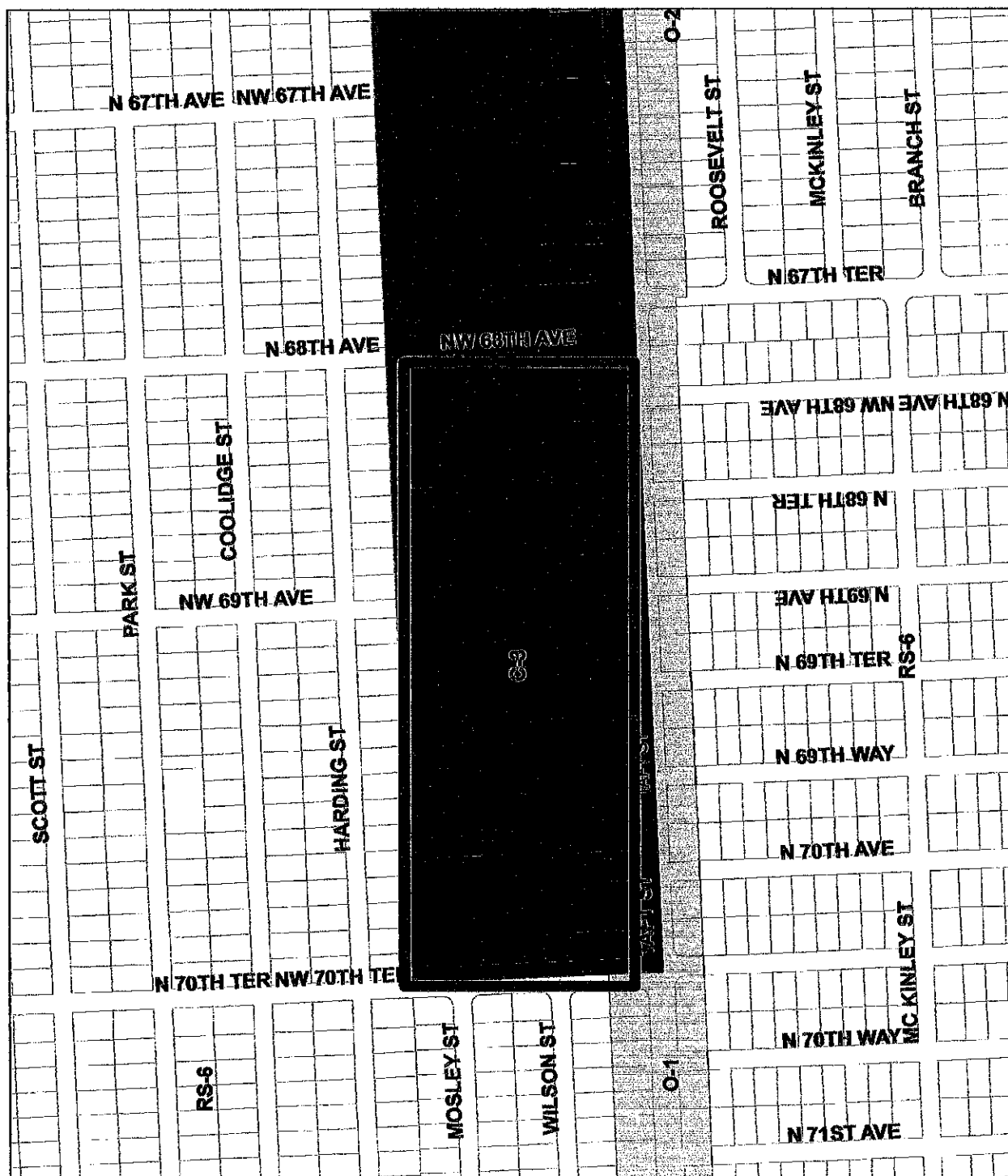
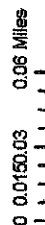
OFF

 City Boundary

Streets

Major Roads

Subject Parcel



ATTACHMENT B
Previously approved Board Resolution

5

CITY OF HOLLYWOOD
DEVELOPMENT REVIEW BOARD

CFN# 109577974
OR BK 47069 Pages 537-544
RECORDED 09/13/10 11:39:23 AM
BROWARD COUNTY COMMISSION
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RESOLUTION NO. 10-DPV-01

A RESOLUTION OF THE CITY OF HOLLYWOOD DEVELOPMENT REVIEW BOARD DENYING A SIGN VARIANCE TO WAIVE THE REQUIREMENT OF ONE MONUMENT SIGN PER PARCEL TO ALLOW FOR A TOTAL OF TWO (2) MONUMENT SIGNS; APPROVING A SIGN VARIANCE WITH A CONDITION TO WAIVE THE REQUIREMENT OF ONE WALL SIGN PER STREET FRONTAGE TO ALLOW TWO (2) ADDITIONAL WALL SIGNS; APPROVING A VARIANCE TO INCREASE THE DEFICIENCY IN PARKING SPACES FROM 373 PARKING SPACES TO 382 PARKING SPACES; APPROVING THE DESIGN AND SITE PLAN WITH A CONDITION FOR THE CONSTRUCTION OF A BANK (CHASE) LOCATED AT 6975 TAFT STREET, HOLLYWOOD, FLORIDA, AS MORE PARTICULARLY DESCRIBED IN EXHIBIT "A", PURSUANT TO THE PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS AND CODE OF ORDINANCES.

WHEREAS, the Development Review Board (the "Board") is charged with, among other things, the responsibility of considering requests for variances, design review and site plan approval; and

WHEREAS, the Board is duly empowered to review, consider, grant/deny variances and approve/deny Design in accordance with the guidelines and procedures found in Section 5.3 of the City's Zoning and Land Development Regulations and approve/deny Site Plans pursuant to Chapter 162, Hollywood Municipal Code of Ordinances, and Section 5.3 of the Zoning and Land Development Regulations; and

WHEREAS, Hollywood Commons, LLC c/o Millbrook Properties, Ltd. (the "Applicant"), applied for two (2) Sign Variances, one (1) variance to increase the deficiency in parking spaces from 373 to 382 parking spaces, Design approval and Site Plan approval for the construction of an approximate 4,200 square foot bank (Chase) within the Taft Hollywood Shopping Center located at 6975 Taft Street, and

WHEREAS, the Planning Manager, Principal Planner and Planning and Development Services Administrator, following an analysis of the application and its associated documents have determined that the proposed request for the Sign Variance to waive the requirement of one monument sign per parcel to allow for a total of two (2) monument signs along Taft Street does meet the criteria set forth in Section 5.3 F. 2 of the Zoning and Land Development Regulations and have therefore recommended that the

Not
Approved

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Return to: Office of Planning
City of Hollywood
2600 Hollywood Boulevard
Room 315
Hollywood, FL 33022-9045

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Sign Variance be approved with the following condition:

The Monument Sign will be associated with or solely used for businesses that are located within the 6975 building fronting Taft Street.(currently known as the "Chase Bank" building).

; and

WHEREAS, the Planning Manager, Principal Planner and Planning and Development Services Administrator, following an analysis of the application and its associated documents have determined that the proposed request for the Sign Variance to waive the requirement of one wall sign per street frontage to allow for two (2) additional wall signs on the east and west elevations for a total of three (3) wall signs, does meet the criteria set forth in Section 5.3 F. 2 of the Zoning and Land Development Regulations and have therefore recommended that the Sign Variance be approved with the following condition:

{ The three (3) monument signs combined do not exceed 107 sq. ft.
and the south sign along Taft Street shall remain the primary sign. }

; and

WHEREAS, the Planning Manager, Principal Planner and Planning and Development Services Administrator of the Department of Planning and Development Services, following an analysis of the application and its associated documents have determined that the proposed request for a Variance to increase the deficiency in parking spaces from 373 parking spaces to 382, does meet the criteria set forth in Section 5.3 F.1.a. through d. of the Zoning and Land Development Regulations, criteria e. is not applicable, and have therefore recommended that the Variance be approved; and

pkg
Variance

WHEREAS, the Planning Manager, Principal Planner and Planning and Development Services Administrator, following an analysis of the application and its associated documents have determined that the proposed request for Design approval for the construction of an approximate 4,200 sq. ft. bank (Chase) at 6975 Taft Street within the Taft Hollywood Shopping Center, does meet the criteria set forth in Section 5.3 I.6. of the Zoning and Land Development Regulations and have therefore recommended approval; and

WHEREAS, the Technical Advisory Committee, following an analysis of the application and its associated documents have determined that the proposed request for Site Plan approval for the construction of an approximate 4, 200 sq. ft bank (Chase) does meet the review standards set forth in Chapter 162 of the Hollywood Code of Ordinances and have therefore recommended approval of the proposed Site Plan contingent upon the Design being approved and with the following condition:

That the drive-thru escape lane cannot be modified in the future to accommodate additional drive-thru lane, ATM or canopy/building overhang.

; and

WHEREAS, the Development Review Board reviews and considers all applications/petitions for variances, design and site plan approval, excluding certain exceptions not applicable herein; and

WHEREAS, on September 2, 2010, the Board met and held a duly advertised public hearing to consider the Applicant's requests; and

WHEREAS, the Board reviewed the application for the two (2) Sign variances, one (1) Variance to increase the deficiency in parking spaces, Design and Site Plan approval, for the construction of an approximately 4,200 square foot bank, reviewed the evidence submitted and testimony received at the public hearing, and the Board applied the applicable criteria for granting the Sign Variances, Variance, Design and Site Plan approval as set forth in Section 5.3 of the City's of Hollywood Zoning and Land Development Regulations and Chapter 162, Hollywood Code of Ordinances and made the following findings:

1. As to the Sign Variance to waive the requirement of one monument sign per parcel to allow for an additional monument sign to be used for Chase Bank for a total of two (2) monument signs to be located along Taft Street, the Board made the following findings based on the criteria set forth in Section 5.3.F.2. of the Zoning and Land Development Regulations:

- a. That the variance not contrary to the public interest;
- b. That the variance is not required due to special conditions; and
- c. That a literal enforcement of the provisions of Article 8 will not result in an unnecessary hardship.

2. As to the Sign Variance to waive the requirement of one wall sign per street frontage to allow for two (2) additional wall signs on the east and west elevations for a total of three (3) wall signs, the Board determined that the condition by staff should be accepted and the Board made the following findings based on the criteria set forth in Section 5.3.F.2. of the Zoning and Land Development Regulations:

- a. That the variance is not contrary to the public interest;
- b. That the variance is required due to special conditions; and

- c. That a literal enforcement of the provisions of Article 8 may result in an unnecessary hardship.

3. As to the Variance to increase the deficiency in parking spaces from 373 to 382, the Board finds:

- a. That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City; and
- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and
- c. That the requested Variance is consistent with, and in furtherance of, the Goals, Objectives and Policies of the adopted Comprehensive Plan, Neighborhood Plan and all other similar plans adopted by the City; and
- d. That the requested Variance is not economically based or self-imposed; and
- e. Since the Board finds that criteria a. through d. above have been met, then criteria e. is not applicable.

4. As to the Design Review approval, the Board made the following findings based on the criteria set forth in Section 5.3.1.6. of the Zoning and Land Development Regulations:

That the Design plans/architectural plans are compatible with the City's Design Guidelines, including the following elements:

- (a) The Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.
- (b) Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

- (c) Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.
- (d) Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

5. As to the Site Plan approval, based upon the review and evaluation of the proposed site plan with the review standards set forth in Chapter 162 of the Hollywood Code of Ordinances, the Board finds that the Site Plan for the construction of a bank, as submitted by the Applicant and reviewed by the Board, is substantially compliant with the site plan regulations as set forth in Chapter 162 of the Code of Ordinances, as well as all other matters associated with the approval of site plans and should include the condition proposed by staff as set forth herein;

NOW, THEREFORE, BE IT RESOLVED BY THE DEVELOPMENT REVIEW BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for granting Sign Variances, the Sign Variance to waive the requirement of one monument sign per parcel to allow for an additional monument sign to be used for Chase Bank for a total of two (2) monument signs to be located along Taft Street is hereby **denied** based upon the Board's findings set forth above.

Section 2: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the criteria listed herein for granting Sign Variances, the Sign Variance to waive the requirement of one wall sign per street frontage to allow for two (2) additional wall signs on the east and west elevations for a total of three (3) wall signs, as depicted in Exhibit "A" attached hereto and incorporated herein by reference, is hereby **granted** based on the plans submitted by the Applicant and reviewed by the Board with the following condition:

used

The three (3) monument signs combined do not exceed 107 sq. ft. and the south sign along Taft Street shall remain the primary sign.

Section 3: That following review of the Dept. of Planning and Development Services report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing, and the consideration of the criteria listed herein for approving/denying a Variance for the property located at 6975 Taft Street, Hollywood, Florida, to increase the deficiency in parking spaces from 373 to 382, as more specifically set forth in Exhibit "A", the Variance is hereby **approved** based upon the findings set forth above.

Section 4: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the design review criteria, the Design is hereby **approved** based on the plans submitted by the Applicant, excluding the monument sign which was denied as set forth in Section 1 above and reviewed by the Board.

Section 5: That following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, the Site Plan is hereby **approved** based upon the Site Plan submitted by the Applicant, excluding the monument sign which was denied as set forth in Section 1 and reviewed by the Board with the following condition:

That the drive-thru escape lane cannot be modified in the future to accommodate additional drive-thru lane, ATM or canopy/building overhang.

Section 6: That the approval by the Board granting both Sign Variances shall become null and void unless the Applicant obtains all appropriate building or other permit(s) or license(s) within 24 months of the Board's approval. Said 24 months shall commence upon passage and adoption of this Resolution.

Section 7: That the Applicant shall have up to 24 months from the date of Design approval to obtain all necessary building permits required to proceed with construction. Failure to obtain said building permits within the time period shall render all Board approvals null and void.

Section 8: That upon approval of the Site Plan, the Applicant shall have up to 24 months from the date of this Resolution to apply for a valid construction permit. Failure to submit an application within the require time period shall render all approvals null and void. However, if site plan approval involves phasing, the site plan for any structure or phase that has been issued a certificate of occupancy shall remain in full force and effect.

DEVELOPMENT REVIEW BOARD RESOLUTION 10-DPV-01 (HOLLYWOOD COMMONS, LLC 6975 TAFT STREET) FOR VARIANCES, DESIGN AND SITE PLAN.

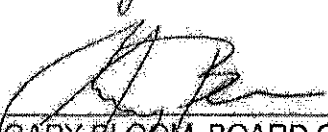
Section 9: That the Department of Planning and Development Services is hereby directed to forward a copy of this resolution to the Applicant and the owner of the property with respect to which the request was made. This Resolution granting the variances will be delivered to the City Clerk to be recorded in the public records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.

PASSED AND ADOPTED THIS 2nd DAY OF September, 2010.

RENDERED THIS 3rd DAY OF September, 2010.

ATTEST:


JOSEPH KALLER, SECRETARY


GARY BLOOM, BOARD CHAIR

APPROVED AS TO FORM & LEGALITY
for the use and reliance of the Development
Review Board of the City of Hollywood, Florida
only.


DEBRA-ANN REESE, BOARD ATTORNEY

Exhibit "A"
LEGAL DESCRIPTION

A PORTION OF PARCEL "A", "TAFT HOLLYWOOD SHOPPING CENTER" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 165, PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 11, TOWNSHIP 51 SOUTH, RANGE 41, EAST: THENCE NORTH $87^{\circ}36'56''$ EAST ON THE SOUTH LINE OF THE SAID NORTHWEST $\frac{1}{4}$ OF SECTION 11, A DISTANCE OF 1,531.85 FEET; THENCE NORTH $02^{\circ}23'04''$ WEST A DISTANCE OF 55.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH $02^{\circ}23'04''$ WEST A DISTANCE OF 178.70 FEET; THENCE NORTH $87^{\circ}36'56''$ EAST A DISTANCE OF 210.00 FEET; THENCE SOUTH $02^{\circ}23'04''$ EAST A DISTANCE OF 178.70 FEET; THENCE SOUTH $87^{\circ}36'56''$ WEST ON THE NORTH RIGHT-OF-WAY LINE OF TAFT STREET AND THE WESTERLY EXTENSION THEREOF A DISTANCE OF 210.00 FEET TO THE POINT OF BEGINNING. SAID LAND SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.