

SITE DATA

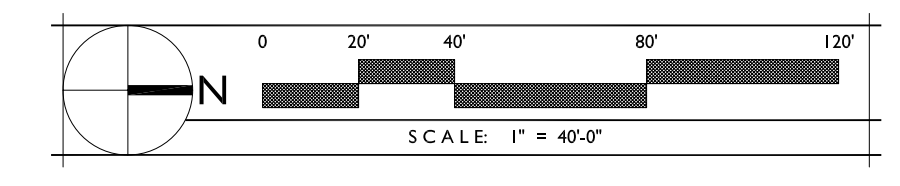
EXISTING USES	WALGREENS - 5999 PEMBROKE RD. - 5141 24 25 0010
SITE ADDRESSES & BROWARD COUNTY PARCEL I.D. NUMBERS	GOODYEAR TIRE CENTER - 5911 PEMBROKE RD. - 5141 24 00 0032 D & B TILE COMPANY - 1685 S. STATE RD. 7 - 5141 24 00 0033
EXISTING LAND USE DESIGNATION	GENERAL BUSINESS
EXISTING ZONING DESIGNATION	LOW HYBRID SOUTH COMMERCIAL SUB-AREA
TOTAL AFFECTED AREA	18,240 S.F.
TOTAL SITE AREA BEFORE ROAD WIDENING	±199,374 S.F. (4.58 AC.)
TOTAL SITE AREA AFTER ROAD WIDENING	±193,088 S.F. (4.43 AC.)
WALGREENS PROPERTY AREA BEFORE ROAD WIDENING	±69,560 S.F. (1.60 AC.)
WALGREENS PROPERTY AREA AFTER ROAD WIDENING	±63,274 S.F. (1.45 AC.)
TOTAL BUILDING SQUARE FOOTAGE	54,119 S.F.
WALGREENS (RETAIL-15,930 S.F.)	
GOODYEAR TIRE CENTER (OFFICE-4,765 S.F.+AUTO SERVICE-3,159 S.F.=7,924 S.F.)	
D & B TILE COMPANY (WAREHOUSE-6,000 S.F.+OFFICE-800 S.F.+RETAIL/SHOWROOM-23,465 S.F.=30,265 S.F.)	
FLOOR AREA RATIO (FAR) AFTER ROAD WIDENING	.28
BUILDING COVERAGE AFTER ROAD WIDENING	28.03%
IMPERVIOUS SURFACE AREA WITHIN AFFECTED AREA	4,776 S.F. (26.2%)
PERVIOUS SURFACE AREA WITHIN AFFECTED AREA	13,464 S.F. (73.8%)
TOTAL PARKING REQUIRED-WALGREENS	64 SP.
TOTAL PARKING EXISTING-WALGREENS PROPERTY	71 SP.
TOTAL PARKING PROVIDED-WALGREENS PROPERTY AFTER ROAD WIDENING (LOSS OF 17 SP.)	54 SP.
TOTAL PARKING REQUIRED-ENTIRE SITE (PER APPROVED SITE PLAN-SEE NOTES)	195 SP.
TOTAL PARKING PROVIDED-ENTIRE SITE (VARIANCE-10 SPACES) 185 SP.	
WALGREENS (REQUIRED-64 SP., PROVIDED-54 SP.)	
RETAIL-15,930 S.F. @ 1/250 S.F. = 64 SP.	
GOODYEAR TIRE CENTER (REQUIRED-27 SP., PROVIDED-27 SP.)	
OFFICE-4,765 S.F. @ 1/250 S.F. = 19 SP.	
AUTO SERVICE-3,159 S.F. @ 1/400 S.F. = 8 SP.	
D & B TILE COMPANY (REQUIRED-104 SP., PROVIDED-104 SP.)	
WAREHOUSE-6,000 S.F. @ 1/1000 S.F. = 6 SP.	
OFFICE-800 S.F. @ 1/250 S.F. = 4 SP.	
RETAIL/SHOWROOM-23,465 S.F. @ 1/250 S.F. = 94 SP.	
WALGREENS FRONT SETBACK REQUIRED/PROVIDED	0'/62.73'
WALGREENS NORTH SIDE SETBACK REQUIRED/PROVIDED	0'/71.28'
WALGREENS SOUTH SIDE SETBACK REQUIRED/PROVIDED	0'/94.09'
WALGREENS REAR SETBACK REQUIRED/PROVIDED	0'/409.29'

LEGEND

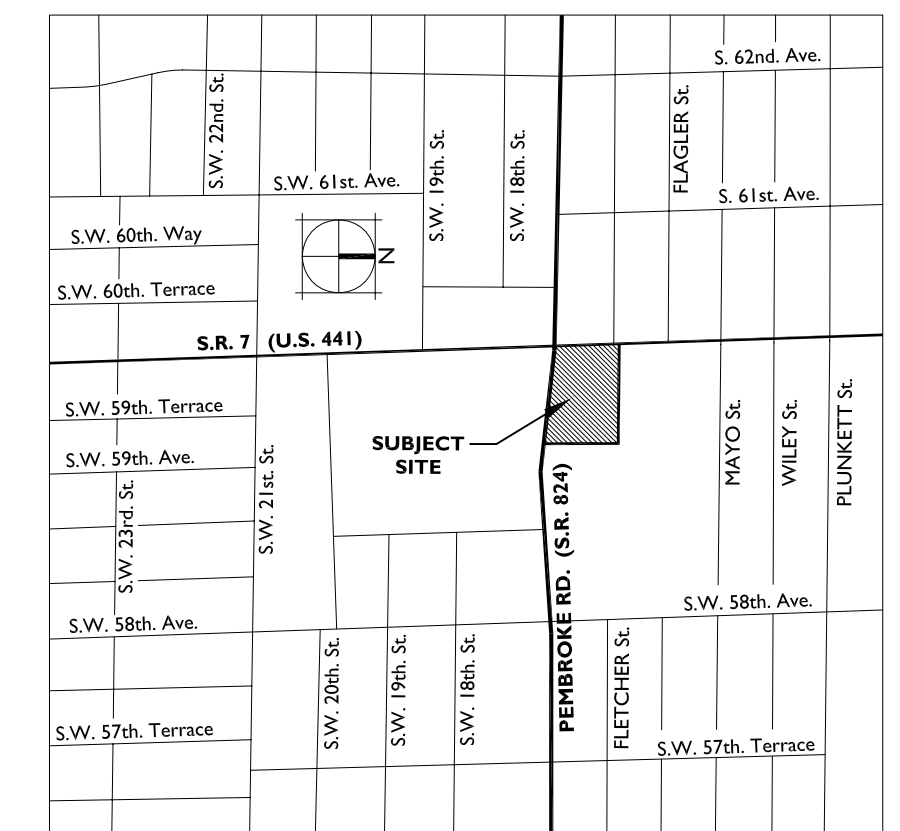
AC. = ACRES	PG. = PAGE	FB = BASELINE
CB = CATCH BASIN	PP = POWERPOLE	FD = FIRE HYDRANT
CBS = CONCRETE, BLOCK & STUCCO	S.F. = SQUARE FEET	LP = LIGHT POLE
CONC. = CONCRETE	SP. = PARKING SPACES	PT = PALM TREE
MH = MANHOLE	STA. = STATION	PL = PROPERTY LINE
O.R.B. = OFFICIAL RECORD BOOK	U.E. = UTILITY EASEMENT	PB = PULL BOX
		S = SIGN
		T = TELEPHONE
		TR = TREE

NOTES:

- FOR ADDITIONAL SITE DETAILS, REFER TO THE WALGREENS CONSTRUCTION PLANS ON FILE WITH THE CITY OF HOLLYWOOD, PREPARED BY AVID ENGINEERING INC., DATED 3/3/98. INCLUDED WITHIN THE CONSTRUCTION PLANS SET ARE THE WALGREENS APPROVED SITE PLAN AND LANDSCAPE PLAN.
- CURED PLAN BASE INFORMATION TAKEN FROM "PROPOSED CONDITIONS SKETCH CURED PARCEL 133/733" PREPARED BY SEXTON ENGINEERING ASSOCIATES, INC., DATE 3/31/2010.



LOCATION MAP NTS.



**WALGREENS
GOODYEAR TIRE CENTER
D & B TILE COMPANY**
CITY OF HOLLYWOOD, FLORIDA

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Environmental Services | Transportation
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**S.R. 7 (U.S. 441)
RIGHT-OF-WAY EXPANSION
PARCEL 133 - CURED PLAN**

SCALE: 1"=40'-0"
DRAWN BY: RHD
DRAWING #: 2010-06-16_SP_P-133_1072.6Q.dwg
FILE #: 1072.6Q
DATE: 06/21/2010

L.D.S. PROJECT SCHEDULE		
DATE	APPROVAL	NOTES
06/21/2010		INITIAL VARIANCE SUBMITTAL